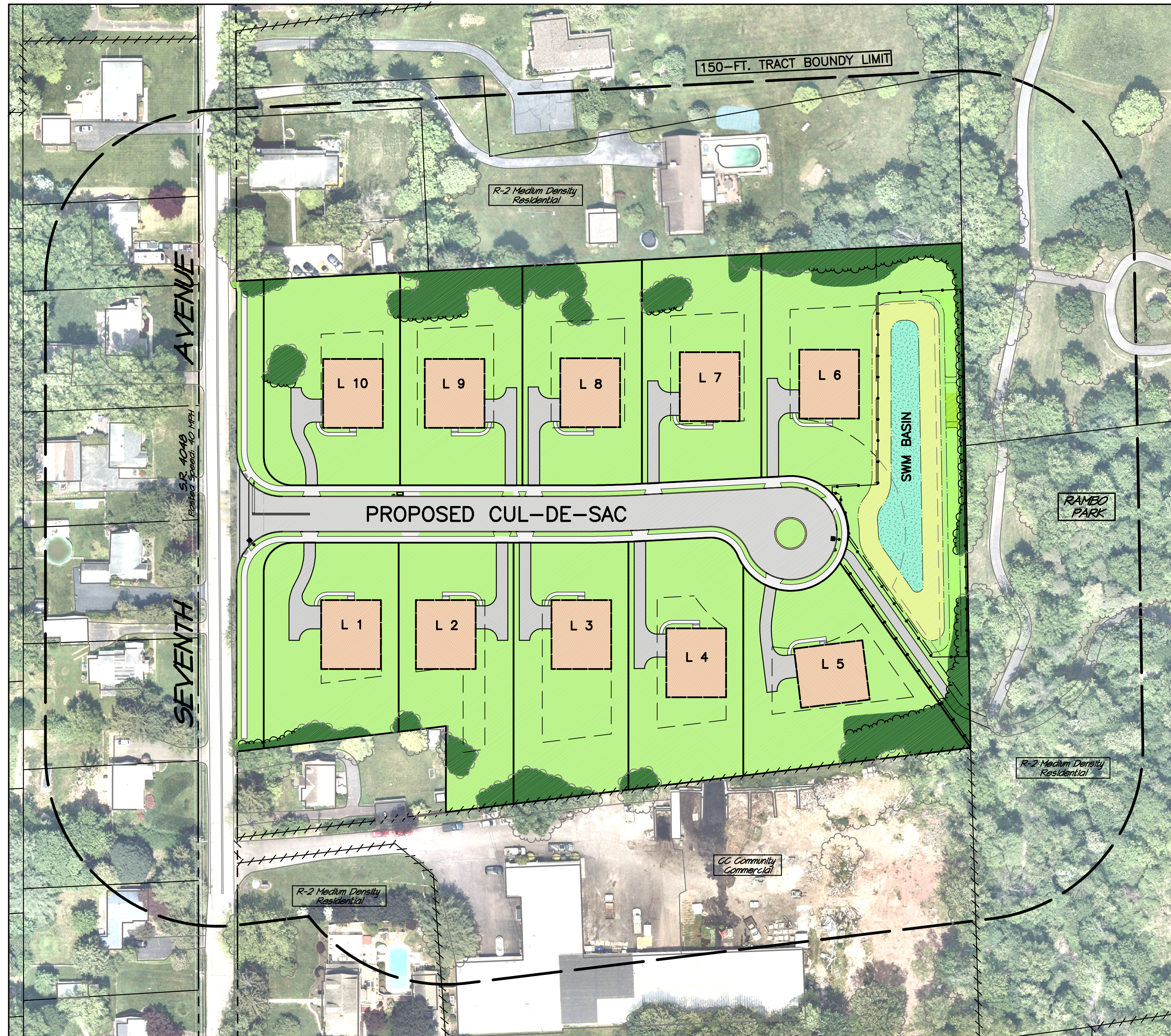


56-62 W SEVENTH AVE

TP 23-00-00985-00-9 & 23-00-00988-00-6

SITUATED IN:
TRAPPE BOROUGH – MONTGOMERY COUNTY – PENNSYLVANIA



SITE NEIGHBORHOOD MAP
 Aerial Imagery provided by Nearmap – Flight date May 16, 2023

PROJECT SHEET INDEX

SHEET No.:	SHEET DESCRIPTION:
1 of 23	COVER – INDEX SHEET
2 of 23	* LAND DEVELOPMENT – RECORD PLAN
3 of 23	EXISTING FEATURES & DEMOLITION PLAN
4 of 23	SITE GRADING and DRAINAGE PLAN
5 of 23	SITE UTILITIES LAYOUT
6 of 23	(PCSM) LANDSCAPING & LIGHTING PLAN
7 of 23	CONSTRUCTION DETAILS – SHEET 'A'
8 of 23	CONSTRUCTION DETAILS – SHEET 'B'
9 of 23	CONSTRUCTION DETAILS – SHEET 'C'
10 of 23	PLAN and PROFILE: CUL-DE-SAC
11 of 23	PLAN and PROFILE: UTILITIES (RESERVED)
12 of 23	E & S CONTROL PLAN
13 of 23	E & S CONTROL SPECIFICATIONS (RESERVED)
14 of 23	E & S CONTROL DETAILS (RESERVED)
15 of 23	* (PCSM) POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (RESERVED)
16 of 23	(PCSM) SOILS EXPLORATION LOCATIONS PLAN
17-18 of 23	(PCSM) POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS (RESERVED)
19-23 of 23	DRAINAGE AREA BOUNDARY PLAN SHEETS

* RECORDING NOTE:

Plan Sheets to be recorded with the Montgomery County Recorder of Deeds as part of this Application.
 Full Plan Set to be on record with Trappe Borough and shall be considered a part of the approved Final Plan as if recorded with the above.

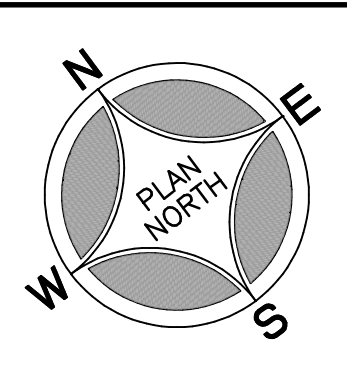
PennDOT HIGHWAY OCCUPANCY PERMIT / DESIGN:

Refer to 'DRAWINGS FOR CONSTRUCTION OF 56-62 W SEVENTH AVE' as prepared by Traffic Planning & Design, Inc. latest edition as amended for required PennDOT H.O.P. permitting for improvements to W SEVENTH AVE (SR 4048)

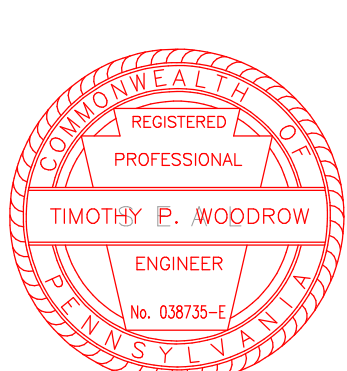
FINAL PLAN APPROVAL:

This Application (# _____) for Subdivision and Land Development was approved by the Trappe Borough Council at a public meeting held on _____, _____, by Resolution _____.

REVISIONS



SEAL

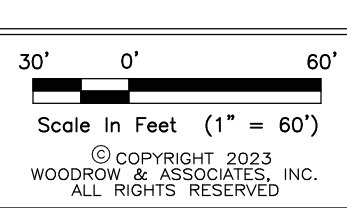


PROJECT SERIAL NUMBER FOR DESIGN:
 2023 07093400
 MARCH 20, 2023

Pennsylvania 811
 A History, Landmark and Part of Pennsylvania's Heritage

Parcel Information:
 N/F: KRAJNICK, GREGORY
 TP: 23-00-00985-00-9
 BL: 3 U: 39
 56 W SEVENTH AVE
 TP: 23-00-00988-00-6
 BL: 3 U: 27
 62 W SEVENTH AVE
 Deed Area: 6.5829 Ac.
 Legal RW: 0.1585 Ac.
 Util. RW: 0.2178 Ac.
 NET Area: 6.2068 Ac.

Applicant/Equitable Owner:
PENNINGTON PROPERTY GROUP, LLC
 c/o Ben Goldthorp
 P.O. Box 35
 Chalfont, PA 18914



PRELIMINARY / FINAL PLAN
COVER – INDEX SHEET
 56-62 W SEVENTH AVE
 TRAPPE BOROUGH – MONTGOMERY COUNTY – PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 – Lower Merion, PA 19102
 Phone: (215) 542-3949 Web: www.woodrowinc.com

Layer List:
 Sht01_Cover
 Job No:
 23-0302 D
 Plan Date:
AUGUST 18, 2023

Sheet No:
1 of 23

Print Date: Aug 18, 2023 (16:03) Plot Scale: 1" = 40.00'
 File Name: C:\2023\23-0302\23-0302.dwg

PLAN FEATURES LEGEND

- Ex. Tract Boundary Line
Ex. Right-of-Way Line
Right-of-Way Centerline
Ex. Zoning District Boundary

SIGN & PAINT MARKING LEGEND

- (R1-1) STOP SIGN
24" WHITE PAINT STOP BAR
8" WHITE PAINT CROSSWALK
50 LF DBL 4" YELLOW LINE
NO PARKING SIGN

MUNICIPAL APPROVALS

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

On this _____ day of _____, 20____, before me, the undersigned Officer, personally appeared _____

_____ known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(Owner)
(Notary Public)
(My Commission expires on)

DEVELOPER CERTIFICATE

I do hereby certify that I am the owner of the land herein subdivided and that my consent to the approval of this plan has been granted and that I desire the same to be recorded.

(Print Name)
(Signature)
(Date)

SURVEYOR'S CERTIFICATION

I do hereby certify that I am a registered Professional Land Surveyor, licensed in compliance with the laws of the Commonwealth of Pennsylvania and that this plan correctly represents a survey made by myself or under my supervision and that all dimensional and geodesic details shown are correct.

(Print Name) (License Number)
(Signature) (Date)

ENGINEER'S CERTIFICATION

I do hereby certify that I am a registered Professional Engineer, licensed in compliance with the laws of the Commonwealth of Pennsylvania and that this plan was prepared by myself or under my supervision and that said plan complies with all ordinances and regulations of this Borough and the Commonwealth of Pennsylvania.

(Print Name) (License Number)
(Signature) (Date)

BOROUGH COUNCIL APPROVAL

Approved by the Borough Council of the Borough of Trappe on this _____ day of _____, 20____, with all conditions met.

Council President
Secretary (Attest)

RECORDER OF DEEDS

Recorded this _____ day of _____, 20____, in the Office for the recording of Deeds, in and for the County of Montgomery, Commonwealth of Pennsylvania.

Plan Book: _____ Page No: _____
Recorder of Deeds: _____

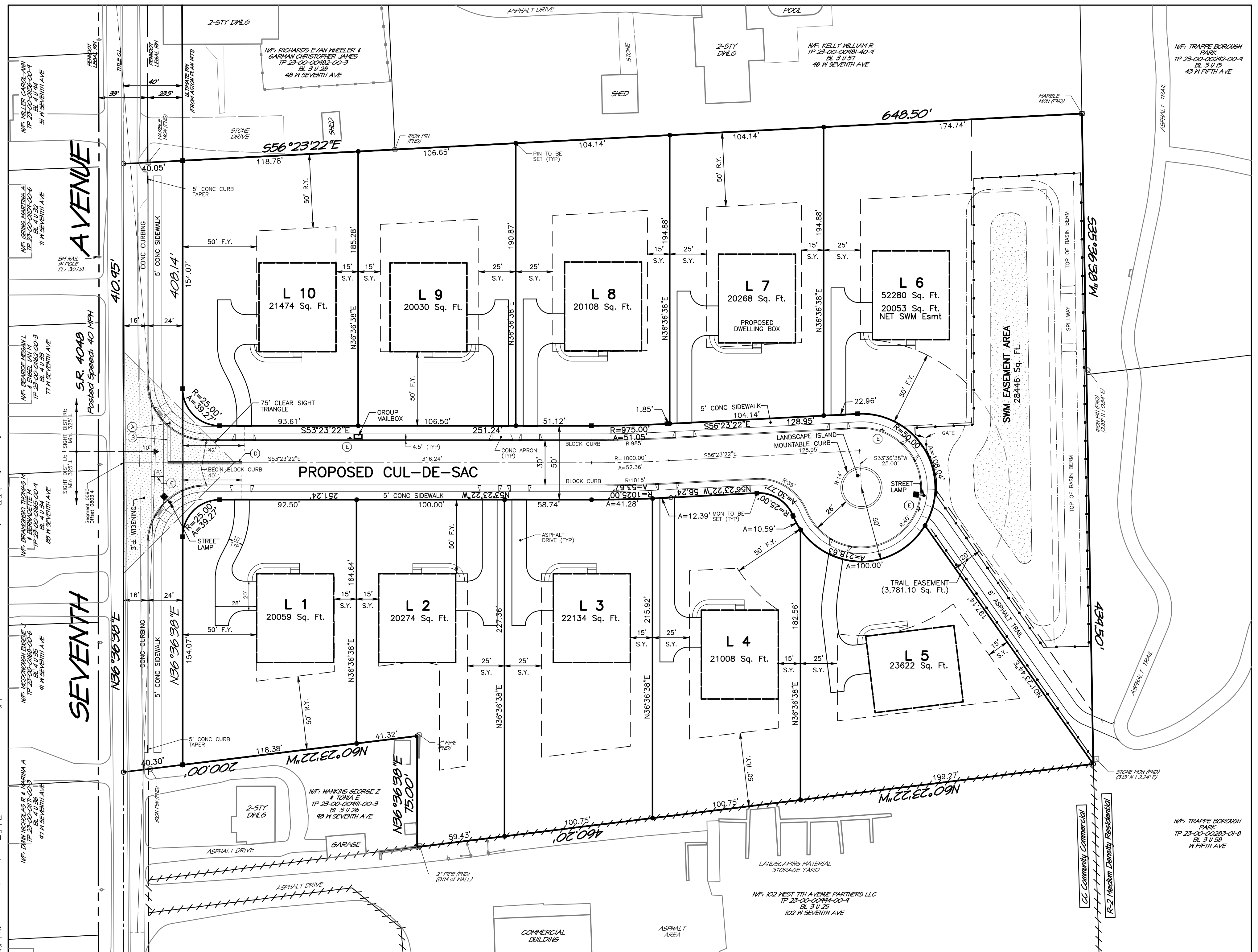
Borough File No.:

MCPC No.:

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date: _____

For the Director
Montgomery County Planning Commission



ZONING DATA SCHEDULE: R-2 MEDIUM-DENSITY RESIDENTIAL DISTRICT. Table with columns: Item, Section, Requirement, Plan Provided.

LOT AREA SCHEDULE: Table with columns: LOT No., LOT AREA (Sq. Ft.), LOT WIDTH (Ft.), BLDG AREA (Sq. Ft.), (% BLDG COVERAGE), IMPERVIOUS (Sq. Ft. @ .75).

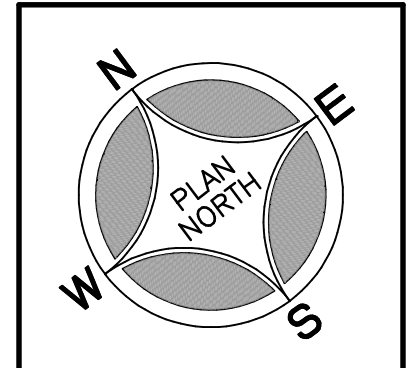
- WAIVER(S) LIST: The following list of Waiver(s) from the Borough Subdivision & Land Development Ordinance. 1. 295-9.B: Requires concrete curbing to be provided. 2. 295-23.B: Requires site elevations to be based on Borough sanitary sewer datum. 3. 295-25.E(1) Tree Replacement Requirements.

- LOT IMPERVIOUS: 56,200 Sq. Ft. PROPOSED CARTWAY AREA: 17,480 Sq. Ft. PROPOSED SIDEWALK AREA: 7,710 Sq. Ft. PROPOSED TRAIL AREA: 1,578 Sq. Ft. TOTAL PROJECT IMPERVIOUS: 82,968 Sq. Ft.

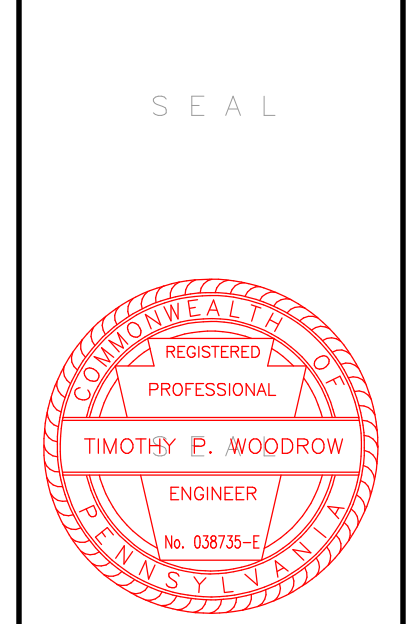
GENERAL PLAN NOTES

- EXISTING FEATURES and SURVEY NOTES: 1. A field metes and bounds survey was performed by Charles E. Shoemaker, Inc. under the supervision of Gary Tilford, PLS... 2. A topographic and existing features survey was performed for this site by Charles E. Shoemaker, Inc. and plan prepared by Woodrow & Associates, Inc. Site elevation datum is referenced per note 3 below... 3. This plan was prepared utilizing the following references: a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources. b. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website... c. Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated October 2022. d. Plan entitled Final Plan Subdivision made for Joseph H. & Caroline M. Buhler by John T. Aston PLS, dated March 7, 1977, last revised April 13, 1977... e. Plan entitled Minor Subdivision Plan Pallarine Property made for Raymond E. & Anna E. Pallarine by Robert E. Blue Consulting Engineers P.C., dated August 12, 2000, last revised September 8, 2000... f. Legal / PennDOT Right of Way: West 7th Avenue width is per Right of Way Record from PennDOT, deeds, and recorded plan information. 4. Wetland/Waters/Alluvial Soils: A field investigation performed by Jillian M. Olsen of Cherry Ridge Consulting, LLC on or about April 05, 2023 to confirm NO existence of Wetlands, Waters or Alluvial Soils at the time of the site survey. 5. This site is located within Flood Plain Zone 'X' (areas determined to be outside the 0.2% annual chance floodplain) as illustrated on Community Panel Number 42091-C-0228-G, effective date March 2, 2018 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. 6. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by RA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org. 7. Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation. 8. Legal Right-of-Way: West 7th Avenue width is per deed and recorded plan information. 9. Ultimate Right-of-Way: West 7th Avenue is identified by Municipal Ordinance as a 'Primary Arterial' roadway requiring an Ultimate Right-of-Way width of 80'-ft. (40'-ft. half-width). The area between the PennDOT Legal Right-of-Way and the Ultimate Right-of-Way is offered in perpetuity for dedication to the agency having jurisdiction over said right-of-way at time of dedication. 10. Subject property is zoned R-2 Medium Density Residential as noted on the official Zoning Map. DEVELOPMENT NOTES: 11. The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities. 12. Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Borough, and, as such, are to be protected, maintained and preserved in accordance with the approved Final Plans. 13. Proposed development to be served by public water and sanitary sewer. 14. All gas and water mains shall be installed underground. All electric, telephone, and communication services, both main and service lines, shall be provided by underground cables, installed in accordance with the prevailing standards and practices of the utility or other companies providing such services. All main underground cables which are within the right-of-way of a street shall be located as specified to the satisfaction of the Borough Engineer. 15. Denotes permanent concrete monuments to be set. Iron pins are to be set at all lot corners where concrete monuments are not indicated. 16. Refuse will be stored within the buildings. 17. No topsoil shall be removed from the site or used as spoil. Topsoil must be removed from the areas of construction and stored separately. Upon completion of the construction, the topsoil must be redistributed on the site uniformly. All areas of the site shall be stabilized by seeding or planting on slopes of less than 1:0.5 and shall be stabilized by sodding on slopes 1:0.5 or more as shown on the final grading plan. 18. Sight Distances: Measured at drivers' eye height at 3.5' above pavement surface at vehicle location 10' behind the edge of the nearest travel lane (see plan for location). Sight distances verified by onsite field inspection. 19. In cases where the seasonal high water table, as designated in the Montgomery County Soil Survey, is within two feet of the ground surface, special foundation drain design will be required for all proposed buildings. 20. Stormwater roof drains shall not discharge water over a sidewalk, but shall extend under the sidewalk and through the curb, or to a storm sewer structure (inlet) or natural watercourse, if available. 21. The owner of any lot, upon written request by the Borough and at the owner's sole expense shall remove anything placed, planted, set or put within the area of any easement. 22. The Developer shall provide As-Built plans.

REVISIONS



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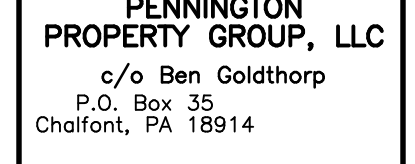


PROJECT SERIAL NUMBER FOR DESIGN: 2023 07093400 MARCH 20, 2023

Pennsylvania 811

Parcel Information: N/F. KRAJINK GREGORY TP 23-00-00985-00-9 BL 3 U 39 56 W SEVENTH AVE TP 23-00-00988-00-6 BL 3 U 37 62 W SEVENTH AVE Deed Area: 6.5829 Ac. Legal RW: 0.1585 Ac. Util. RW: 0.2176 Ac. NET Area: 6.2068 Ac.

Applcator/Equitable Owner: PENNINGTON PROPERTY GROUP, LLC c/o Ben Goldthorp P.O. Box 35 Chalfont, PA 18914



Scale in Feet (1" = 40')
© COPYRIGHT 2023 WOODROW & ASSOCIATES, INC. ALL RIGHTS RESERVED

PRELIMINARY / FINAL PLAN

LAND DEVELOPMENT - RECORD PLAN

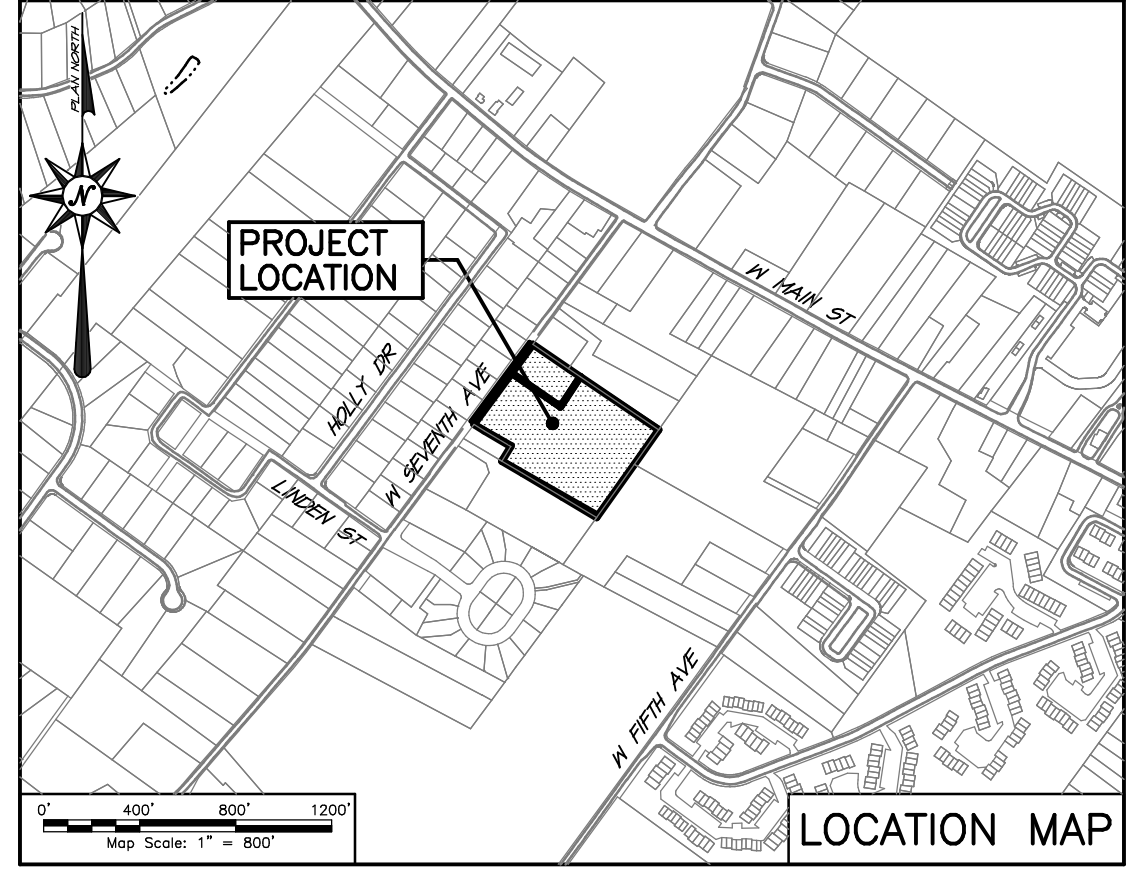
56-62 W SEVENTH AVE TRAPPE, BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC. MUNICIPAL / CIVIL CONSULTING ENGINEERS 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002 Phone: (610) 542-3548 Web: www.woodrowinc.com

Layer List: Sh02_Record
Job No: 23-0302 D
Plan Date: AUGUST 18, 2023
Sheet No: 2 of 23

USER NOTICE:

Any user of these plans is responsible for contacting the appropriate agency in the event of discrepancies between the plan, plan details, shop drawings, construction standards, and field conditions. The applicable agency must be contacted and discrepancies resolved before proposed improvements are constructed. The preparer of these plans and all reviewing agencies are not liable for any discrepancies.



PLAN FEATURES LEGEND

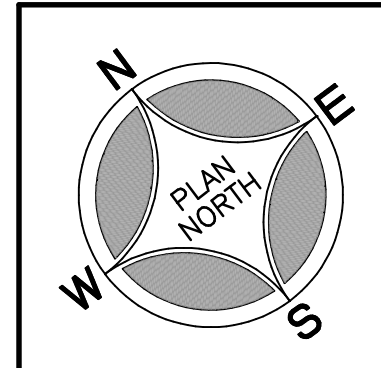
- Ex. Tract Boundary Line
- Ex. Right-of-Way Line
- Ex. Right-of-Way Centerline
- Ex. Zoning District Boundary
- Ex. Topographic Contour
- Ex. Soil Series Limits
- Ex. Sanitary Main / Lateral
- Ex. Gas Main / Service
- Ex. Water Main / Service
- Ex. Overhead Wires
- Ex. Woodlands Delineation
- Ex. Tree to be Removed



GENERAL PLAN NOTES

- BASE EXISTING FEATURES and SURVEY NOTES:**
- A field metes and bounds survey was performed by Charles E. Shoemaker, Inc. under the supervision of Gary Tifford, PLS, and plan prepared by Woodrow & Associates, Inc. Survey performed with the benefit of a full Title Report. Bearings shown reflect a rotation of +4° 08' 22" from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis. Survey prepared during the month of April 2023. Horizontal datum based on NAD 1983, SPC 83 Pennsylvania (South), GEOID Model g2003i08 using Topcon Total Station Virtual Network System.
 - A topographic and existing features survey was performed for this site by Charles E. Shoemaker, Inc. and plan prepared by Woodrow & Associates, Inc. Site elevation datum is referenced per note 3 below. Site Benchmark is the top of cut nail in utility pole #140 in front of 71 W. Seventh Avenue having an elevation of 307.18. Survey prepared during the month of April 2023. Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD88 vertical datum. Site Vertical Datum using Topcon Total Station Virtual Network System.
 - This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated October 2022.
 - Plan entitled Final Plan Subdivision made for Joseph H. & Caroline M. Buhler by John T. Aston PLS, dated March 7, 1977, last revised April 13, 1977. Recorded in the Montgomery County Office for Recorder of Deeds, Plan Book A-29 page 2.
 - Plan entitled Minor Subdivision Plan Pollarino Property made for Raymond E. & Anna E. Pollarino by Robert E. Blue Consulting Engineers P.C. dated August 12, 2000, last revised September 8, 2000. Recorded in the Montgomery County Office for Recorder of Deeds, Plan Book A-59 page 359.
 - Legal / PennDOT Right of Way: West 7th Avenue width is per Right of Way Record from PennDOT, deeds, and recorded plan information.
 - Wetland/Waters/Alluvial Soils: A field investigation performed by Jillian M. Olsen of Cherry Ridge Consulting, LLC on or about April 05, 2023 to confirm NO existence of Wetlands, Waters or Alluvial Soils at the time of the site survey.
 - This site is located within Flood Plain Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) as illustrated on Community Panel Number 42091-C-0228-G, effective date March 2, 2018 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.pennstate.edu.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
 - Legal Right-of-Way: West 7th Avenue width is per deed and recorded plan information.
 - Ultimate Right-of-Way: West 7th Avenue is identified by Municipal Ordinance as a "Primary Arterial" roadway requiring an Ultimate Right-of-Way width of 80'-ft. (40'-ft. half-width). The area between the PennDOT Legal Right-of-Way and the Ultimate Right-of-Way is offered in perpetuity for dedication to the agency having jurisdiction over said right-of-way at time of dedication.
 - Subject property is zoned R-2 Medium Density Residential as noted on the official Zoning Map.

REVISIONS



SEAL

SEAL

REPLACEMENT TREE CALCULATIONS:

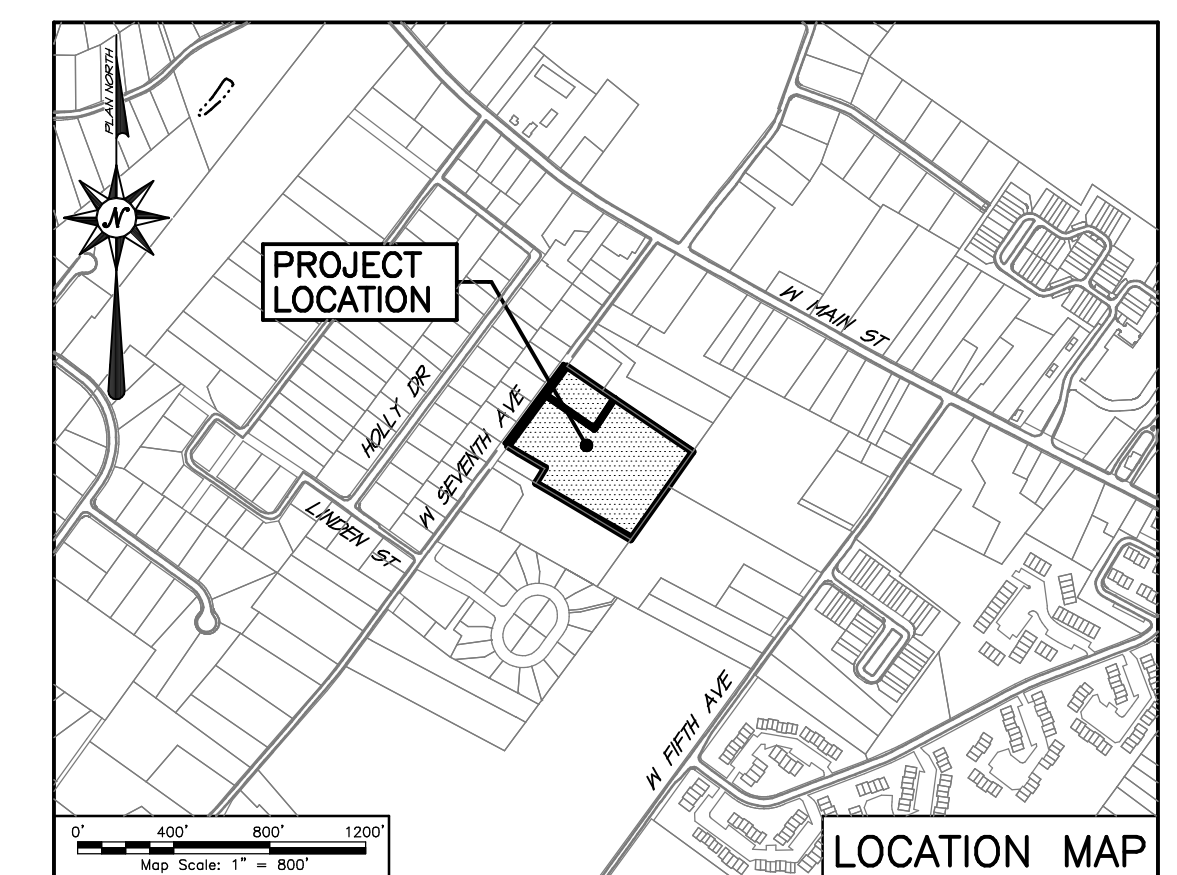
AMOUNT OF STANDALONE, HEALTHY TREES REMOVED (6"+): 48
 AREA OF WOODLAND REMOVAL: 42,694 SF
 APPROXIMATELY 10 (6"+) TREES PRESENT PER 10,000 SF
 42,694/10,000 = 4.27 x 10 = 43 TREES REMOVED
 TOTAL TREE REMOVALS = 48 + 43 = 91
 25% OF TREES ARE PERMITTED TO BE REMOVED WITHOUT REPLACEMENT
 91 x .25 = 23 TREES PERMITTED TO BE REMOVED WITHOUT REPLACEMENT
 91 - 23 = 68 REPLACEMENT TREES REQUIRED (2.5" CAL.)

EXISTING TREE SCHEDULE

Tree ID	DBH Cal.	Species	Removal	Comments	Counted for Replacement	Tree ID	DBH Cal.	Species	Removal	Comments	Counted for Replacement	Tree ID	DBH Cal.	Species	Removal	Comments	Counted for Replacement	Tree ID	DBH Cal.	Species	Removal	Comments	Counted for Replacement
001	24"	Japanese Maple	X	Healthy	No	031	6"	Cedar	X	DDD	No	061	22"	White Oak	X	Healthy	No	091	12"	Pine	X	Healthy	Yes
002	5"	Japanese Maple	X	Healthy	No	032	9"	Spruce	X	Healthy	Yes	062	14"	Pin Oak	X	Healthy	Yes	092	9"	Pine	X	Healthy	Yes
003	24"	Japanese Maple	X	Healthy	Yes	033	8"	Spruce	X	DDD	No	063	15"	Elm	X	DDD	No	093	12"	Pine	X	Healthy	Yes
004	9"	Maple	X	DDD	No	034	27"	Pin Oak	X	Healthy	Yes	064	13"	Cherry	X	DDD	No	094	18"	Maple	X	Healthy	Yes
005	21"	Spruce	X	Healthy	Yes	035	12"	Spruce	X	Healthy	Yes	065	12"	Pin Oak	X	Healthy	Yes	095	9"	Pine	X	Healthy	Yes
006	22"	Spruce	X	Healthy	Yes	036	13"	Spruce	X	Healthy	Yes	066	18"	Pin Oak	X	Healthy	Yes	096	11"	Pine	X	Healthy	Yes
007	12"	Spruce	X	Healthy	Yes	037	18"	Pin Oak	X	Healthy	Yes	067	10"	Maple	X	DDD	No	097	18"	Pine	X	Healthy	Yes
008	30"	Pine	X	DDD	No	038	18"	Dead	X	DDD	No	068	18"	Maple	X	DDD	No	098	24"	Maple	X	Healthy	Yes
009	18"	Spruce	X	Healthy	Yes	039	11"	Pine	X	Healthy	Yes	069	10"	Pine	X	DDD	No	099	18"	Cherry	X	DDD	No
010	24"	Spruce	X	Healthy	Yes	040	6"	Pine	X	Healthy	Yes	070	10"	Pine	X	DDD	No	100	10"	Oak	X	DDD	No
011	20"	Spruce	X	Healthy	Yes	041	9"	Pine	X	Healthy	Yes	071	18"	Spruce	X	Healthy	Yes	101	21"	Maple	X	Healthy	No
012	9"	Spruce	X	DDD	No	042	7"	Pine	X	DDD	No	072	14"	Cedar	X	Healthy	Yes	102	10"	Maple	X	Healthy	No
013	18"	Spruce	X	Healthy	Yes	043	6"	Pine	X	DDD	No	073	18"	Maple	X	Healthy	Yes	103	15"	Maple	X	Healthy	No
014	9"	Spruce	X	DDD	No	044	28"	Maple	X	Healthy	Yes	074	15"	Maple	X	Healthy	Yes	104	10"	Pine	X	Healthy	No
015	12"	Holly	X	Healthy	No	045	8"	Cedar	X	DDD	No	075	12"	Pine	X	DDD	No	105	8"	Pine	X	Healthy	No
016	14"	Spruce	X	Healthy	No	046	8"	Pin Oak	X	Healthy	Yes	076	10"	Pine	X	DDD	No	106	12"	Pine	X	Healthy	No
017	16"	Pin Oak	X	Healthy	Yes	047	8"	Pin Oak	X	Healthy	Yes	077	18"	Maple	X	DDD	No	107	9"	Pine	X	Healthy	No
018	12"	Spruce	X	DDD	No	048	7"	Pine	X	DDD	No	078	7"	Maple	X	DDD	No	108	12"	Pine	X	Healthy	No
019	19"	Spruce	X	DDD	No	049	10"	Pine	X	DDD	No	079	13"	Maple	X	Healthy	Yes	109	15"	Pine	X	Healthy	No
020	12"	Cedar	X	Healthy	Yes	050	6"	Pine	X	DDD	No	080	15"	Apple	X	Healthy	Yes	110	8"	Pine	X	Healthy	No
021	18"	Pine	X	DDD	No	051	9"	Dead	X	DDD	No	081	12"	Maple	X	DDD	No	111	9"	Pine	X	Healthy	No
022	24"	Pine	X	DDD	No	052	18"	Spruce	X	Healthy	Yes	082	13"	Maple	X	DDD	No	112	12"	Pine	X	Healthy	No
023	8"	Cedar	X	DDD	No	053	11"	Pine	X	DDD	No	083	12"	Maple	X	DDD	No	113	34"	Pine	X	Healthy	No
024	6"	Cedar	X	DDD	No	054	9"	Pine	X	DDD	No	084	18"	Dogwood	X	DDD	No	114	14"	Pine	X	Healthy	No
025	6"	Cedar	X	DDD	No	055	7"	Hemlock	X	Healthy	Yes	085	30"	Maple	X	DDD	No	115	9"	Pine	X	Healthy	No
026	6"	Cedar	X	DDD	No	056	20"	Pin Oak	X	Healthy	Yes	086	22"	Maple	X	Healthy	Yes	116	31"	Pin Oak	X	Healthy	No
027	6"	Cedar	X	DDD	No	057	14"	Maple	X	DDD	No	087	34"	Sassafras	X	Healthy	Yes	117	34"	Pin Oak	X	Healthy	Yes
028	6"	Cedar	X	DDD	No	058	13"	Pine	X	DDD	No	088	22"	Maple	X	Healthy	Yes	118	6"	Lilac	X	Healthy	Yes
029	7"	Cedar	X	DDD	No	059	10"	Pin Oak	X	DDD	No	089	7"	Pine	X	Healthy	Yes	119	14"	Ginkgo	X	DDD	No
030	6"	Cedar	X	DDD	No	060	10"	Pin Oak	X	Healthy	No	090	8"	Pine	X	Healthy	Yes						

PROJECT SOILS DATA

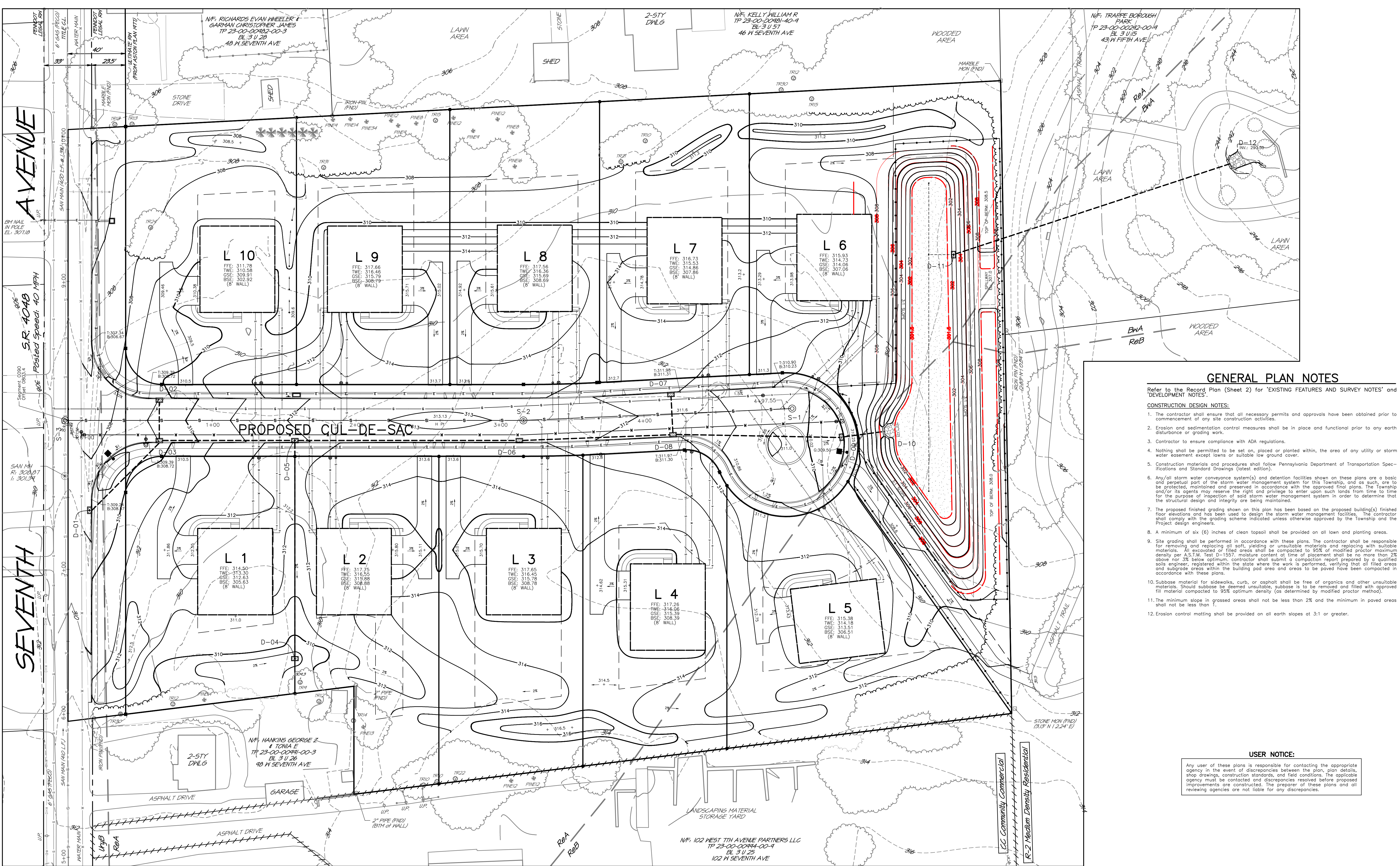
Soils Type:	% Slopes:	Depth to Restrictive Feature:	Depth to Water Table:	Hydrologic Soil Group:
BWA Buckingham silt loam	0 to 3	20-40" to Froggip 80-99" to Lithic Bedrock	6 to 18"	B/D
Rea ReB Readington silt loam	0 to 3 3 to 8	20-36" to Froggip 40-70" to Lithic Bedrock	18 to 36"	C
UryB Urban land-Readington complex	0 to 8	20-36" to Froggip 40-70" to Lithic Bedrock	18 to 36"	C



PRELIMINARY / FINAL PLAN
PROPERTY BOUNDARY and EXISTING FEATURES PLAN
 56-62 W SEVENTH AVE
 TRAPPE, BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (610) 542-5048 Web: www.woodrowinc.com

Layer List:
 Sh03_ExtFea
 Job No:
 23-0302 D
 Plan Date:
 AUGUST 2023
 Sheet No:
 3 of 23

Print Date: Aug 17, 2023 (10:43) - Plot Scale: 1" = 40.00'
 File Name: 23-0302-D-002-03-002-002.dwg



PLAN FEATURES LEGEND

	Ex. Tract Boundary Line		Pr. Topographic Contour
	Ex. Right-of-Way Line		Pr. Sanitary Sewer
	Ex. Zoning District Boundary		Pr. Water Main / Service
	Ex. Topographic Contour		Pr. Gas Main / Service
	Ex. Soil Series Limits		Pr. Electric Main / Service
	Ex. Sanitary Main / Lateral		Ex. Overhead Wires
	Ex. Gas Main / Service		
	Ex. Water Main / Service		
	Ex. Woodland Dringine		

STORMWATER STRUCTURE SCHEDULE

Structure: D-01 Type: 'C' INLET Loc: 7th Ave Gr: 309.70 Inv: 305.20 (D-03)	Structure: D-04 Type: 'M' INLET Loc: Rear Lot 1 & 2 Gr: 308.50 Inv: 305.30 (D-05)	Structure: D-07 Type: 'C' INLET Loc: 4+19.5 (Rt) Gr: 311.43 Inv: 307.93 (D-08)	Structure: D-10 Type: 'DW' ENDWALL Loc: BASIN #002 TW: 305.05 Inv: 301.55 (D-09)
Structure: D-02 Type: 'C' INLET Loc: 0+83.4 (Lt) Gr: 309.03 Inv: 305.53 (D-03)	Structure: D-05 Type: 'C' INLET Loc: 1+57.5 (Rt) Gr: 311.82 Inv: 304.24 (D-03)	Structure: D-08 Type: 'C' INLET Loc: 4+19.5 (Lt) Gr: 311.43 Inv: 307.69 (D-07)	Structure: D-11 Type: 'OUTLET' STRUCTURE Loc: BASIN #002 T.O.R.: 307.00 Gr: 311.43 Inv: 301.60 (6.5' C.O.)
Structure: D-03 Type: 'C' INLET Loc: 0+83.4 (Rt) Gr: 309.03 Inv: 304.84 (D-02)	Structure: D-06 Type: 'C' INLET Loc: 3+13.4 (Lt) Gr: 312.24 Inv: 303.30 (D-05)	Structure: D-09 Type: 'C' INLET Loc: 5+40.2 (Rt) Gr: 308.53 Inv: 301.86 (D-08)	Structure: D-12 Type: 'DW' ENDWALL Loc: 'OUTFALL' TW: 293.00 Inv: 290.50 (18" 0)

STORMWATER PIPING SCHEDULE

From:	To:	Length (L.F.):	Pipe I.D.:	Pipe Material:	Slope:
D-01	D-03	66	18"	ADS (N-12)	0.50 %
D-02	D-03	25	18"	ADS (N-12)	2.64 %
D-03	D-05	92	18"	ADS (N-12)	0.50 %
D-04	D-05	150	18"	ADS (N-12)	0.70 %
D-05	D-06	154	18"	ADS (N-12)	0.50 %
D-06	D-08	104	18"	ADS (N-12)	0.50 %
D-07	D-08	25	18"	ADS (N-12)	1.00 %
D-08	D-09	115	18"	ADS (N-12)	0.50 %
D-09	D-10	28	24"	ADS (N-12)	0.50 %
D-11	D-12	202	18"	WT ADS (N-12)	4.00 %

SANITARY STRUCTURE SCHEDULE

Structure: S-1 Type: SAN MH Loc: 5+03.89 Rim: 310.19 Inv: 306.28	Structure: S-2 Type: SAN MH Loc: 3+16.24 Rim: 312.50 Inv: 304.42	Structure: S-3 Type: SAN MH (DGHSE) Loc: 0+02.0 Rim: 307.92 Inv: 301.07
--	--	---

SANITARY PIPING SCHEDULE

From:	To:	Length (L.F.):	Pipe I.D.:	Pipe Material:	Slope:
S-1	S-2	186	8"	P.V.C. Sch 21	1.00 %
S-2	S-3	318	8"	P.V.C. Sch 21	1.00 %

GENERAL PLAN NOTES

Refer to the Record Plan (Sheet 2) for 'EXISTING FEATURES AND SURVEY NOTES' and 'DEVELOPMENT NOTES'.

CONSTRUCTION DESIGN NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
- Contractor to ensure compliance with ADA regulations.
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except towns or suitable low ground cover.
- Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
- Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
- The proposed finished grading shown on this plan has been based on the proposed building(s) finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design engineers.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soil, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557, moisture content at time of placement shall be no more than 2% above nor 3% below optimum; contractor shall submit a compaction report prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).
- The minimum slope in grassed areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
- Erosion control matting shall be provided on all earth slopes at 3:1 or greater.

USER NOTICE:

Any user of these plans is responsible for contacting the appropriate agency in the event of discrepancies between the plan, plan details, shop drawings, construction standards, and field conditions. The applicable agency must be contacted and discrepancies resolved before proposed improvements are constructed. The preparer of these plans and all reviewing agencies are not liable for any discrepancies.

REVISIONS

SEAL

TIMOTHY P. WOODROW
REGISTERED PROFESSIONAL ENGINEER
No. 00873-E

PROJECT SERIAL NUMBER FOR DESIGN: 2023 07093400
MARCH 20, 2023

Pennsylvania 811

Parcel Information:
N/F. KRAJNICK GREGORY TP 23-00-00985-00-9 BL 3 U 39 56 W SEVENTH AVE
N/F. TRAFFE BOROUSH PARK TP 23-00-00982-00-4 BL 3 U 15 43 W FIFTH AVE
N/F. HANKINS GEORGE Z & TOSHIA E TP 23-00-00991-00-3 BL 3 U 26 48 W SEVENTH AVE
N/F. 102 WEST 7TH AVENUE PARTNERS LLC TP 23-00-00994-00-4 BL 3 U 25 102 W SEVENTH AVE

Deed Area: 6.5829 Ac.
Legal RW: 0.1585 Ac.
Util. RW: 0.2178 Ac.
NET Area: 6.2068 Ac.

Applcmt./Easible Owner: PENNINGTON PROPERTY GROUP, LLC
c/o Ben Goldthorp
P.O. Box 35
Chaffont, PA 18914

Scale in Feet (1" = 30')

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WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 242-2048 Web: www.woodrowinc.com

PRELIMINARY / FINAL PLAN

SITE IMPROVEMENTS PLAN
56-62 W SEVENTH AVE
TRAPPE BOROUSH - MONTGOMERY COUNTY - PENNSYLVANIA

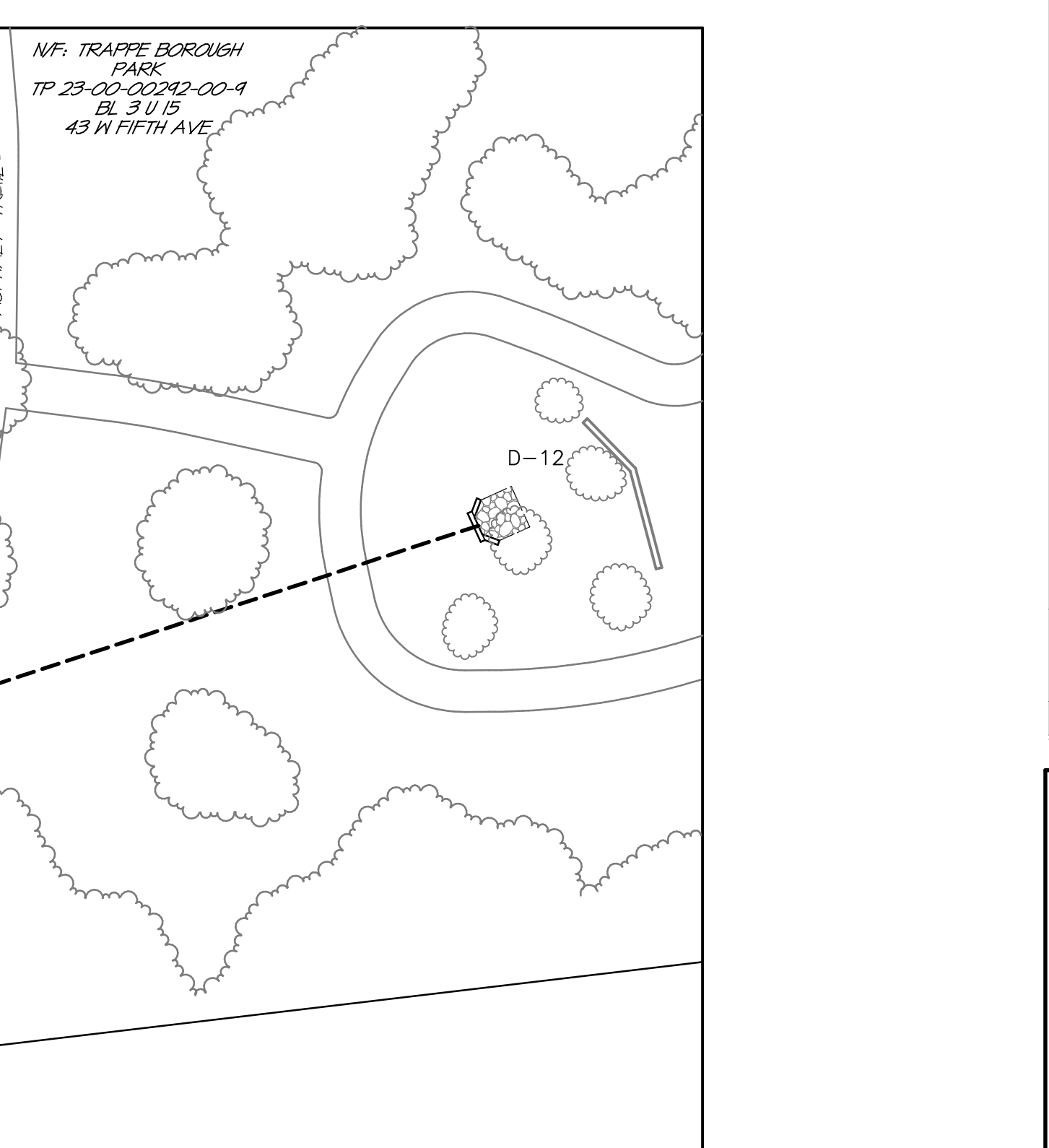
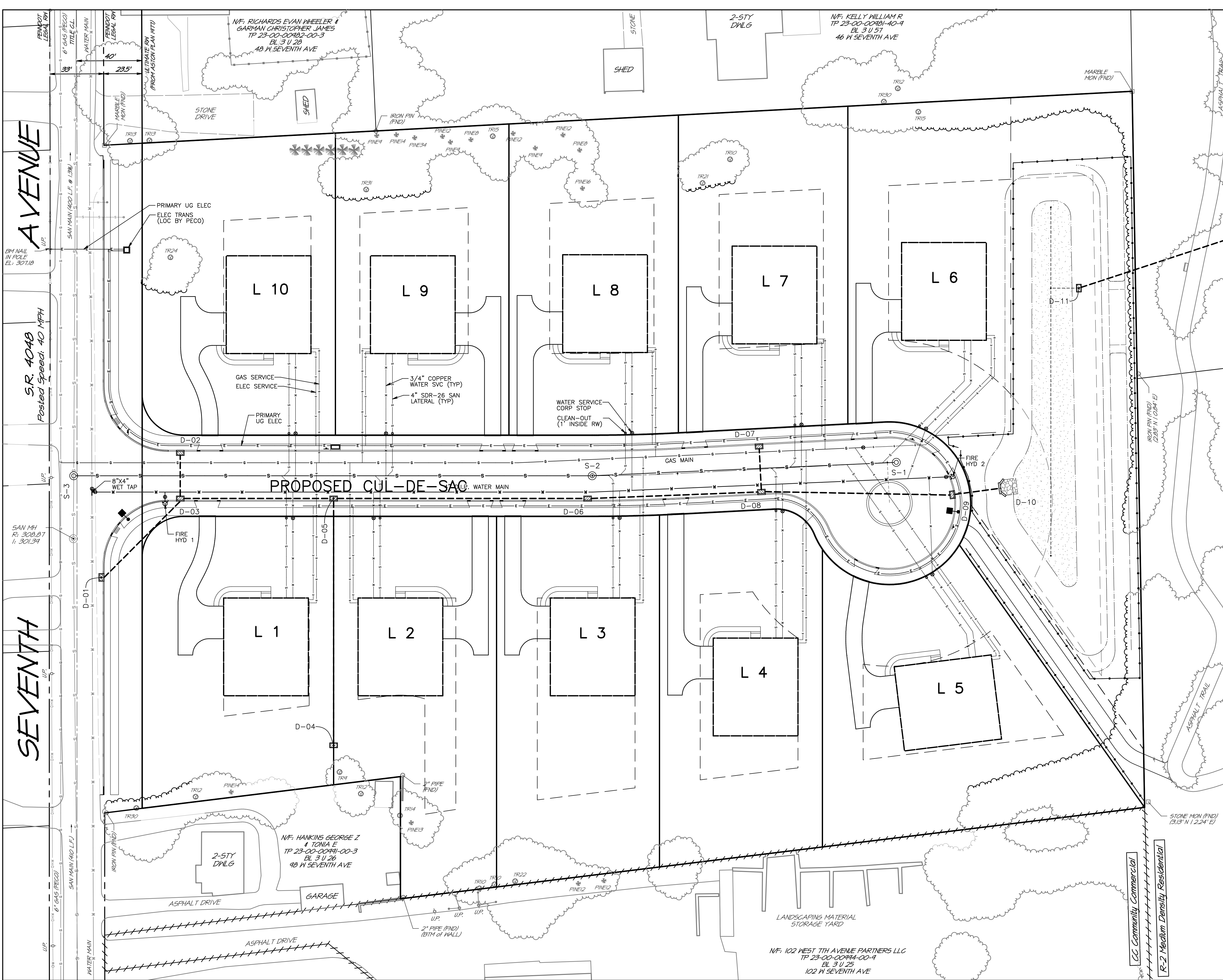
Layer List:
Sht04_Grading

Job No: 23-0302 D

Plan Date: AUGUST 2023

Sheet No: 4 of 23

Print Date: Aug 17, 2023 (10:54 AM) Plot Scale: 1" = 30.00'



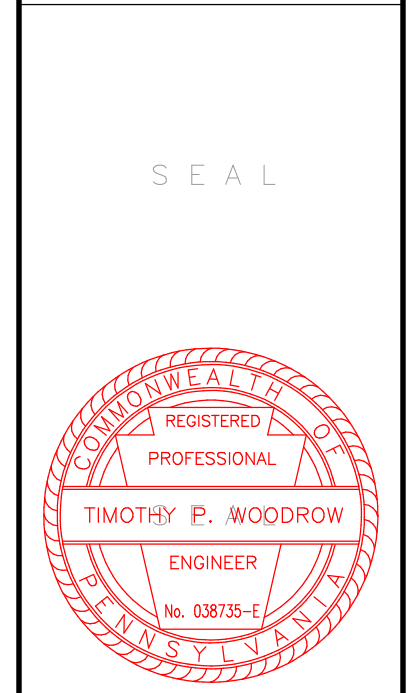
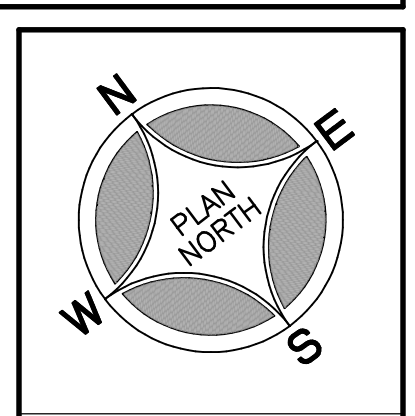
GENERAL PLAN NOTES

Refer to the Record Plan (Sheet 2) for 'EXISTING FEATURES AND SURVEY NOTES' and 'DEVELOPMENT NOTES'.
 Refer to the Site Grading and Drainage Plan (Sheet 4) for 'CONSTRUCTION DESIGN NOTES'.

UTILITY CONSTRUCTION NOTES:

- Construction materials and procedures shall follow Pennsylvania Department of Transportation specifications and standard drawings (latest edition).
- Nothing shall be permitted to be set on, placed or planted within, the area of any utility or storm water easement except laws or suitable low ground cover.
- Shop drawings and/or literature submitted on equipment/products associated with the sanitary sewer and potable water facilities will be provided to Collegeville-Trappe Municipal Authority (sewer) and Collegeville-Trappe Joint Public Works (water) for approval prior to fabrication and/or erection.
- The finished grading shown on this plan has been based on the proposed dwelling garage floor elevations and has been used to design the storm sewer management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Borough and Design Engineers.
- Erosion and Sedimentation Control Measures shall be in place and functional prior to any earth disturbance or grading work.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- No topsoil shall be removed from the site or used as spoil. Topsoil must be removed from the areas of construction and stored separately. Upon completion of the construction, the topsoil must be redistributed on the site uniformly. All areas of the site shall be stabilized by seeding or planting on slopes of less than 10% and shall be stabilized by sodding on slopes 10% or more as shown on the final grading plan.
- Existing vegetation designed "TO REMAIN" shall be identified in the field prior to any clearing and shall be physically protected throughout the construction process. A temporary physical barrier, such as a snow fence, shall be erected a minimum of one foot outside the trip line on all sides of individual trees, tree masses, or woodlands prior to major clearing or construction. The barrier shall be placed to prevent disturbance to or compaction of soil inside the barrier and shall remain until construction is complete.
- If groundwater or bedrock is encountered during construction, construction must cease, the design engineer shall be contacted immediately, and appropriate modifications shall be made.
- All water system construction shall be in accordance with Collegeville-Trappe Joint Public Works Standard Specifications and Details.
- All sanitary sewer construction shall be in accordance with Collegeville-Trappe Municipal Authority Standard Specifications and Details.
- Within 10-ft of the existing sanitary sewer, the proposed sanitary laterals, proposed water main, or proposed water service there shall be no tree, shrub, or landscaping item installed. There shall be no irrigation piping or system within 10-ft of either the sanitary sewer or water main, nor any fence, wall or any structure.
- Existing sanitary sewer and proposed lateral extending to 10-ft beyond the sewer main to be owned and maintained by the CTMA. Beyond the 10-ft distance, homeowner to own and maintain lateral, per CTMA Standards.
- Blow-off hydrant, located at the end of the proposed water main, shall be a Kupferle Truflo TF500 or approved equal.

NO.	DATE	DESCRIPTION

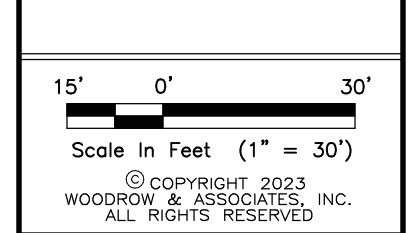


PROJECT SERIAL NUMBER FOR DESIGN:
 2023 07093400
 MARCH 20, 2023

Pennsylvania 811

Parcel Information:
 N/F. KRAJINK GREGORY TP 23-00-00985-00-9 BL 3 U 39 56 W SEVENTH AVE
 TP 23-00-00988-00-6 BL 3 U 27 62 W SEVENTH AVE
 Deed Area: 6.5829 Ac.
 Legal RW: 0.1585 Ac.
 Util. RW: 0.2176 Ac.
 NET Area: 6.2068 Ac.

Appl./Easible Owner:
PENNINGTON PROPERTY GROUP, LLC
 c/o Ben Goldthorp
 P.O. Box 35
 Chaffont, PA 18914



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PRELIMINARY / FINAL PLAN
SITE UTILITIES LAYOUT
 56-62 W SEVENTH AVE
 TRAPPE BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (610) 542-3548 Web: www.woodrowinc.com

Layer List:
 Sht05_Utility

Job No:
 23-0302 D

Plan Date:
 AUGUST 2023

Sheet No:
5 of 23

PLAN FEATURES LEGEND

	Ex. Tract Boundary Line		Ex. Sanitary Main / Lateral
	Ex. Right-of-Way Centerline		Ex. Gas Main / Service
	Ex. Zoning District Boundary		Ex. Water Main / Service
	Ex. Overhead Wires		Pr. Storm Sewer
	Ex. Sanitary Main / Lateral		Pr. Water Main / Service
	Ex. Gas Main / Service		Pr. Gas Main / Service
	Ex. Water Main / Service		Pr. Electric Main / Service
	Ex. Overhead Wires		Ex. Woodland Dringine

STORMWATER STRUCTURE SCHEDULE

Structure: D-01 Type: 'C' INLET Loc: 7th Ave Gr: 309.70 Inv: 305.20 (D-03)	Structure: D-04 Type: 'M' INLET Loc: Rear Lot 1 & 2 Gr: 308.30 Inv: 305.30 (D-05)	Structure: D-07 Type: 'C' INLET Loc: 4+19.5 (Rt) Gr: 311.43 Inv: 307.93 (D-08)	Structure: D-10 Type: DW ENDWALL Loc: BASIN #002 Gr: 305.05 Inv: 301.55 (D-09)
Structure: D-02 Type: 'C' INLET Loc: 0+63.4 (LT) Gr: 309.03 Inv: 305.53 (D-03)	Structure: D-05 Type: 'C' INLET Loc: 1+57.5 (Rt) Gr: 311.82 Inv: 304.24 (D-03)	Structure: D-08 Type: 'C' INLET Loc: 4+19.5 (Lt) Gr: 311.43 Inv: 307.69 (D-07)	Structure: D-11 Type: OUTLET STRUCTURE Loc: BASIN #002 Gr: 307.00 Inv: 305.75 (R.W.)
Structure: D-03 Type: 'C' INLET Loc: 0+63.4 (Rt) Gr: 309.03 Inv: 304.87 (D-02)	Structure: D-06 Type: 'C' INLET Loc: 3+13.4 (Lt) Gr: 312.42 Inv: 303.30 (D-05)	Structure: D-09 Type: 'C' INLET Loc: 5+40.2 (Rt) Gr: 308.53 Inv: 301.86 (D-08)	Structure: D-12 Type: DW ENDWALL Loc: OUTFALL Gr: 293.00 Inv: 290.50 (18" 0)

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From:	To:	Length (L.F.):	Pipe I.D.:	Pipe Material:	Slope:
D-01	D-03	66	18"	ADS (N-12)	0.50 %
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D-07	D-08	25	18"	ADS (N-12)	1.00 %
D-08	D-09	115	18"	ADS (N-12)	0.50 %
D-09	D-10	28	24"	ADS (N-12)	0.50 %
D-11	D-12	202	18"	WT ADS (N-12)	4.00 %

SANITARY STRUCTURE SCHEDULE

Structure: S-1 Type: SAN MH Loc: 5+03.89 Rim: 310.19 Inv: 306.28	Structure: S-2 Type: SAN MH Loc: 3+16.24 Rim: 312.50 Inv: 304.42	Structure: S-3 Type: SAN MH (DGHSE) Loc: 0+02.0 Rim: 307.92 Inv: 301.07
--	--	---

SANITARY PIPING SCHEDULE

From:	To:	Length (L.F.):	Pipe I.D.:	Pipe Material:	Slope:
S-1	S-2	186	8"	P.V.C. Sch 21	1.00 %
S-2	S-3	318	8"	P.V.C. Sch 21	1.00 %

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Print Date: Aug 17, 2023 (10:54 AM) Plot Scale: 1" = 40.00'
 File Name: C:\2023\13-000000\13-000000.dwg

AVENUE

S.R. 4048
60% Posted Speed: 40 MPH

SEVENTH

PLAN FEATURES LEGEND

	Ex. Tract Boundary Line		Pr. Topographic Contour
	Ex. Right-of-Way Line		Pr. Storm Sewer
	Ex. Zoning District Boundary		Pr. Water Main / Service
	Ex. Topographic Contour		Pr. Gas Main / Service
	Ex. Soil Series Limits		Pr. Electric Main / Service
	Ex. Sanitary Main / Lateral		
	Ex. Gas Main / Service		
	Ex. Water Main / Service		
	Ex. Overhead Wires		
	Ex. Woodland Driftline		

LANDSCAPING REQUIREMENTS

Item	Requirement	Provided
SLD 295-25A(5) & 295-25E(4)(U)	25% of trees are permitted to be removed without replacement. See "Replacement Tree Calculations" on Sheet 3, Existing Features Plan. 68 replacement trees are required (2.5" cal.).	23 Shade Trees 26 Evergreen Trees 19 Flowering Trees
SLD 295-26B Shade Trees	planted at a min of 5' inside the lot line paralleling the right-of-way line. Trees planted not less than 40' apart.	8 Shade Trees
	Seventh Ave.: 408 - 100 (Griveway) / ROW = 308 308 L.F. / 40 = 8 Trees Required	26 Shade Trees
	Internal Street: 1044 L.F. / 40 = 26 Trees Required	

Waiver requested to allow use of flowering trees towards replacement tree requirement. In order to support this request, a 10% decrease in the overall replacement trees is not being utilized even though greater than 6 species are provided. (Solid 295-25E(4)(U))

PLANTING SCHEDULE

Plan Symbol	Quantity	Botanical Name	Common Name	Minimum Planting Caliper	Planting Spread	Minimum Planting Height	Remarks
AR	6	Acer rubrum 'October Glory'	'Armstrong' Red Maple	2.5"	12-14'	B&B	
GB	6	Ginkgo biloba 'Princeton Sentry'	'Princeton Sentry' Ginkgo	2.5"	12-14'	B&B	
LS	11	Liquidambar styraciflua 'Rotundiloba'	Fruticose Sweetgum	2.5"	12-14'	B&B	
NS	6	Nyssa sylvatica	Blackgum	2.5"	12-14'	B&B	
QB	5	Quercus bicolor	Swamp White Oak	2.5"	12-14'	B&B	
QP	9	Quercus phellos	Willow Oak	2.5"	12-14'	B&B	
TC	11	Tilia cordata 'Greenspire'	'Greenspire' Littleleaf Linden	2.5"	12-14'	B&B	
TD	3	Taxodium distichum	Bald Cypress	2.5"	12-14'	B&B	

PLANTING SCHEDULE

Plan Symbol	Quantity	Botanical Name	Common Name	Minimum Planting Caliper	Planting Spread	Minimum Planting Height	Remarks
AC	6	Amelanchier canadensis	Servicberry	2"	8-10'	6"	B&B, multi-stem
BN	3	Betula nigra	River Birch	2"	8-10'	6"	B&B, multi-stem
CF	4	Cornus florida	Flowering Dogwood	2"	8-10'	6"	B&B
CK	6	Cornus kousa	Chinese Dogwood	2"	8-10'	6"	B&B
IO	6	Ilex opaca	American Holly	2"	3-4'	6"	B&B
PA	10	Picea abies	Norway Spruce	2"	3-4'	6"	B&B
PO	10	Picea omorika	Serbian Spruce	2"	3-4'	6"	B&B

LIGHTING INFORMATION

Luminaire Schedule: AEL - American Revolution LED - Series 247CL

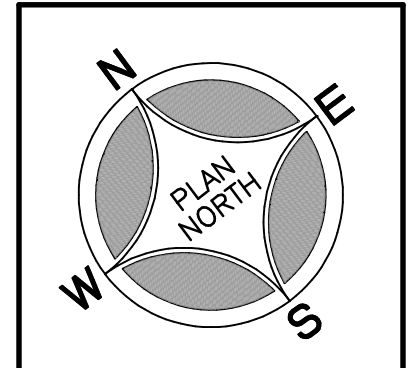
Symbol	Qty	Catalog Number	IES File	Lumens per Lamp	LLF	Watts	Mounting Height
■	2	247CL-P102-30K-R4	247CL P102 XXXX 30K R4.ies	Absolute	1.00	30	12'

Underground lighting conduit shall be coordinated to avoid conflict with proposed tree locations.

GENERAL PLAN NOTES

- Refer to the Record Plan (Sheet 2) for 'EXISTING FEATURES AND SURVEY NOTES' and 'DEVELOPMENT NOTES'.
Refer to the Site Grading and Drainage Plan (Sheet 4) for 'CONSTRUCTION DESIGN NOTES'.
- LANDSCAPING & LIGHTING NOTES:**
- All topsoil shall be a minimum of 6" in all seed/sod areas and 8" in all tree, shrub and ground-cover beds including parking lot island beds.
 - Planting behind perpendicular parking shall be located 2' behind the curb line.
 - All landscape and grass areas are to be hand raked and left clear of all stones, rock, construction debris and any unsuitable materials.
 - Landscape contractor shall verify location of all utilities prior to any excavation and planting installation.
 - All areas to be landscaped must be treated with a pre-emergent herbicide (surflan, dacthal or approved equal) in accordance with applicable federal, state regulations and per manufacturer's instructions.
 - All proposed planting material is to be nursery grown, typical of their species or variety. Plant material shall have normal, vigorous root systems, free from defects and infections and in accordance with ANSI Z601.1.
 - All proposed plant material shall be installed per standards of the 'American Association of Nurserymen' and state nursery/landscape associations with regard to planting, pit size, backfill mixture, staking and guying.
 - All planting containers and baskets shall be removed during plant material installation. All plants shall be set, planted and positioned so that the top of the root collar matches, or is no more than 2" above finished grade. Replace amended backfill in 6-inch layers and compact backfill to eliminate voids. Contractor shall water newly planted vegetation prior to mulching planting pit. All voids shall be filled and settling mitigated as necessary.
 - After initial watering and prior to mulching, contractor shall apply herbicides and pre-emergent herbicides as required to eliminate any weed seeds or plants present on the root ball.
 - All planting beds and individual tree pits shall be mulched with double-ground hardwood mulch at a depth of 2-3". If provided, any rain garden plug areas shall be mulched with 3" depth of shredded hardwood mulch (no substitutions permitted).
 - Landscape contractor to supply and install a pervious weed barrier (Dewitt, DuPont or approved equal) in accordance with manufacturer's installation within all defined landscape areas; including stone and mulch beds. All weed barrier will be overlapped a minimum of 6" at all seams. At plant locations, barrier should be cut in an "x" pattern so to accommodate root ball and replaced after plant has been installed.
 - Seedbed Preparation:
 - Apply limestone and fertilizer according to soil tests of fertilizer may be applied at the rate of 260 pounds per acre or 6 pounds per 1,000 square feet using 10-20-10 ratio or equivalent. In addition, 300 pounds 4-2 ratio per acre (or equivalent) of slow release nitrogen may be used in lieu of top dressing.
 - Work lime and fertilizer into the soil as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing or disking operation should be parallel to the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
 - Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retiled and firmed as outlined above.
 - For grass seeding mixture and application rate, refer to Erosion and Sediment Control Plan.
 - In areas designated as sod, fescue sod is to be installed on a minimum 4" topsoil. Areas to be sodded are to be prepared as noted above for seeded areas.
 - Plant material shall be guaranteed for eighteen (18) months from the date of substantial completeness. The contractor shall replace any dead, unhealthy, dying or damaged plants, through loss of branches and/or foliage. Plants that are not in good condition at the end of the guarantee period shall be replaced until a good lawn results.
 - It is understood that the owner shall assume responsibility for watering all plant material and lawn area beginning with the date of substantial completeness.
 - Contractor to coordinate the underground lighting conduit locations with the proposed planting locations so as to avoid conflicts.
 - The Borough reserves the right to require additional landscape buffer plantings, following substantial completion of construction, should vegetation to be preserved not be preserved or not otherwise be as represented on the final Landscape Plan(s).

REVISIONS



SEAL

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
2023 07093400
MARCH 20, 2023

Pennsylvania 811

Parcel Information:
N/F: KRAJINK GREGORY TP 23-00-00985-00-9 BL 3 U 39 56 W SEVENTH AVE
BL 3 U 27 62 W SEVENTH AVE
TP 23-00-00988-00-6 BL 3 U 27 62 W SEVENTH AVE
Deed Area: 6.5829 Ac.
Legal RW: 0.1585 Ac.
Util. RW: 0.2176 Ac.
NET Area: 6.2068 Ac.

Applicant/Equitable Owner:
PENNINGTON PROPERTY GROUP, LLC
c/o Ben Goldthorp
P.O. Box 35
Chaffont, PA 18914

Scale in Feet (1" = 30')

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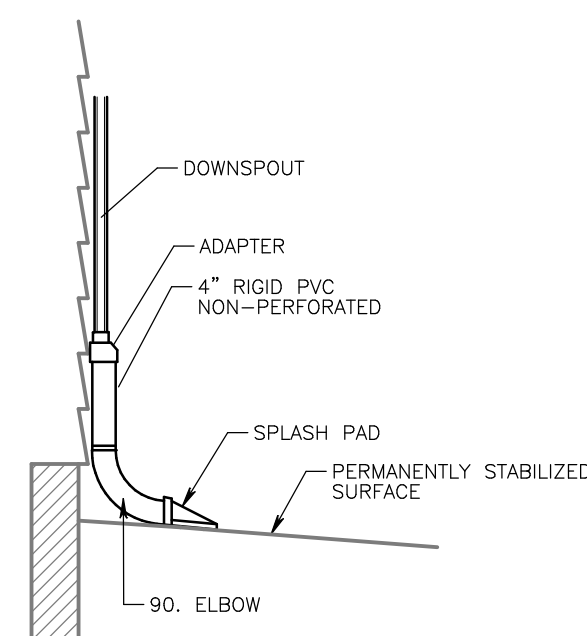
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
TRAFFE BOROUGHS - MONTGOMERY COUNTY - PENNSYLVANIA
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 242-2646 Web: www.woodrowinc.com

Layer List:
Sht06_Land

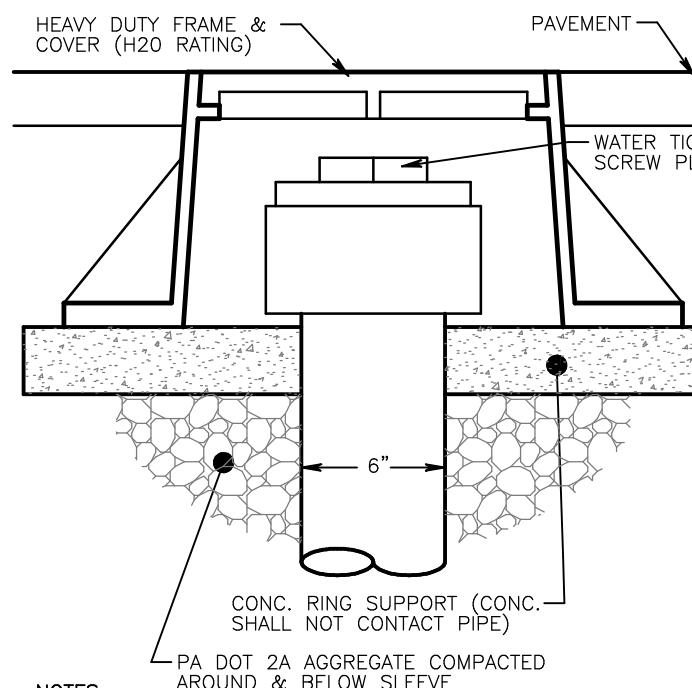
Job No:
23-0302 D

Plan Date:
AUGUST 2023

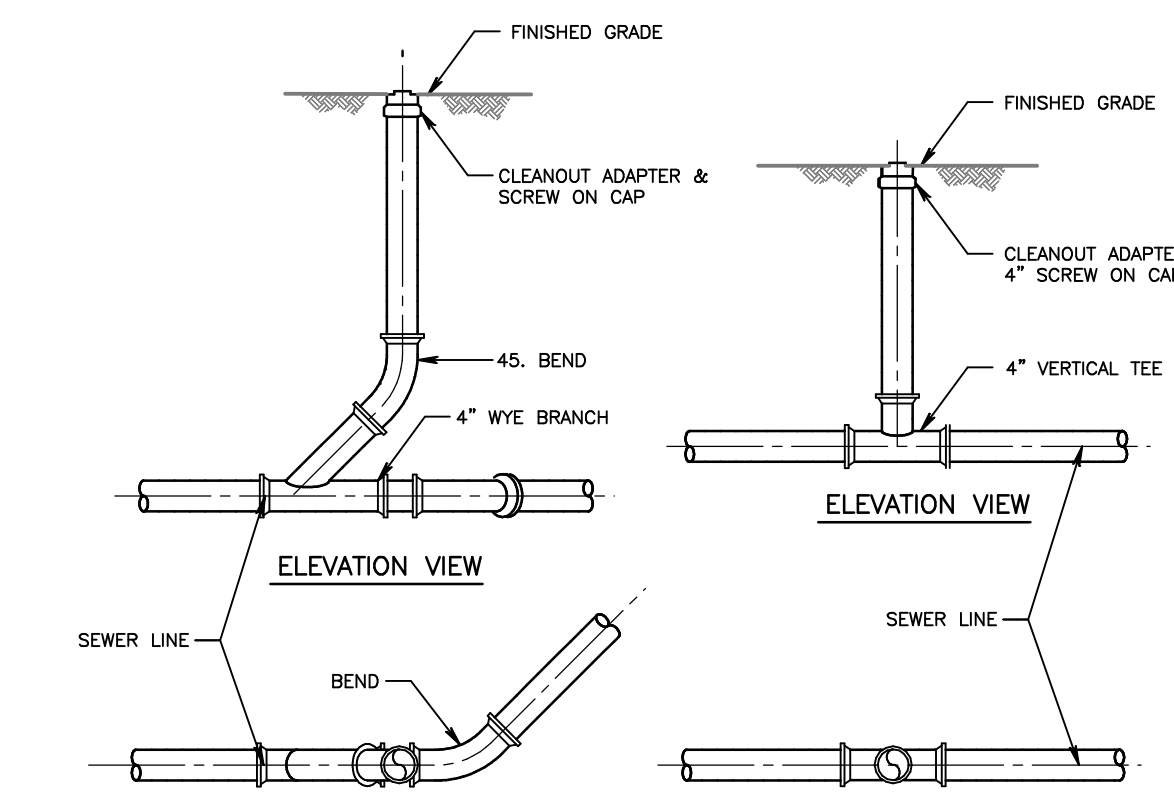
Sheet No:
6 of 23



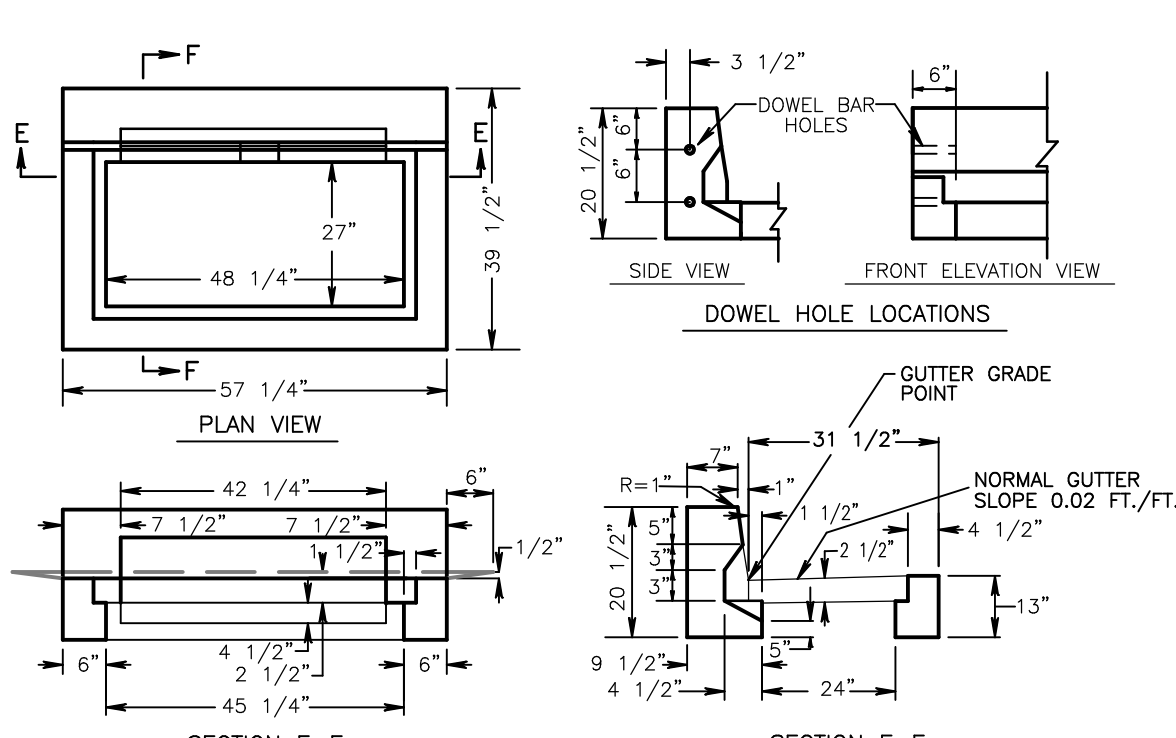
DOWNSPOUT DETAIL
Not To Scale



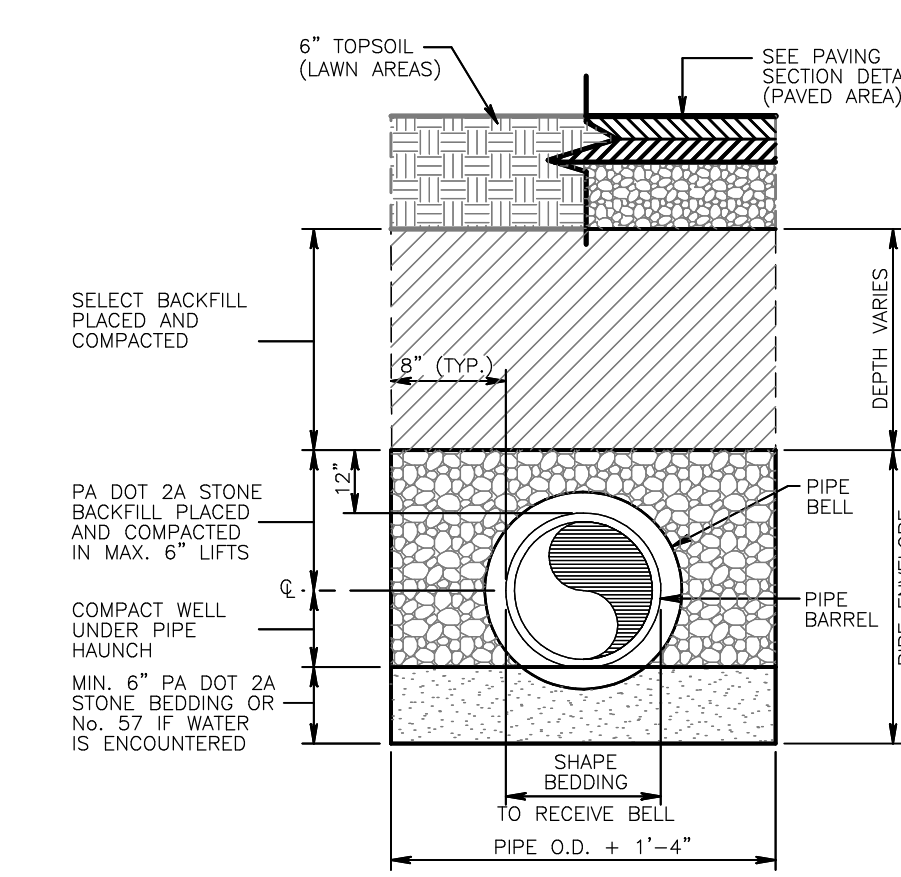
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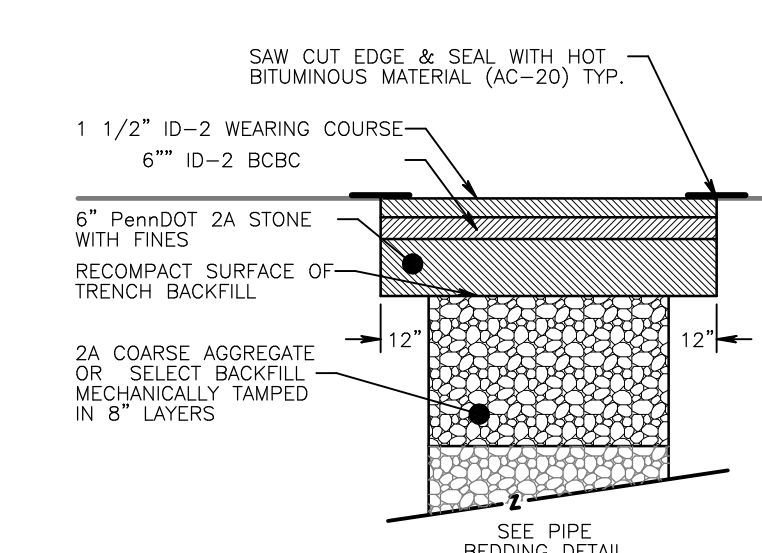
SANITARY CLEAN-OUT DETAILS
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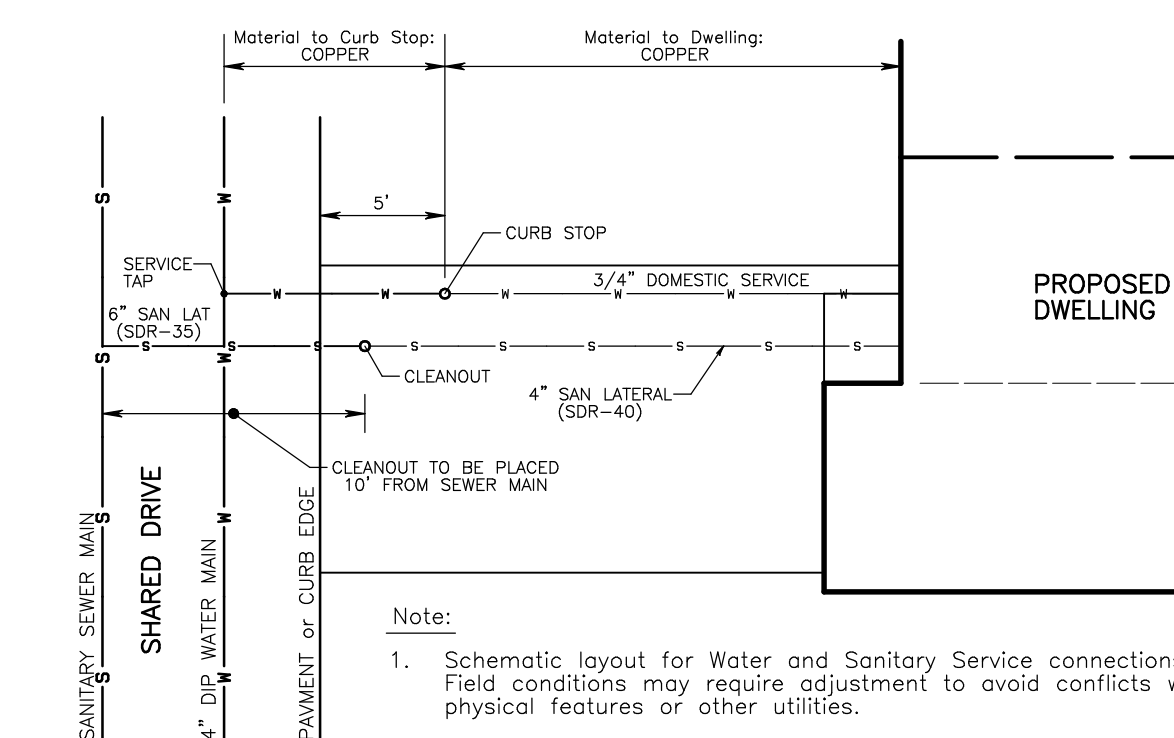
STRUCTURAL STEEL GRATE - BICYCLE SAFE
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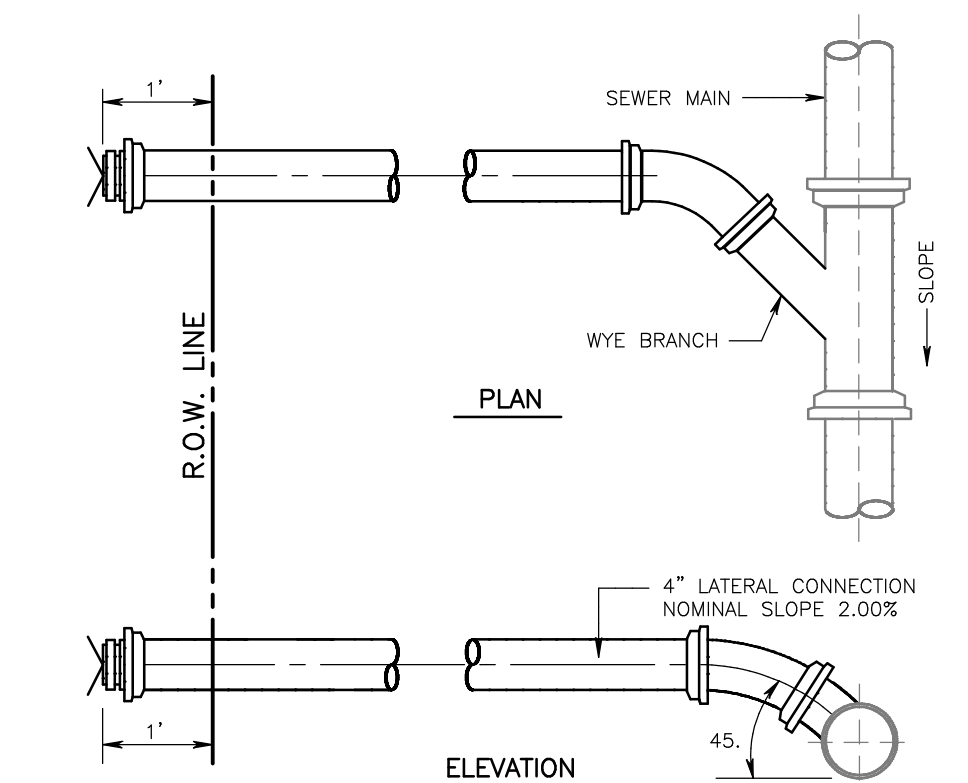
STANDARD STORM PIPE BEDDING DETAIL
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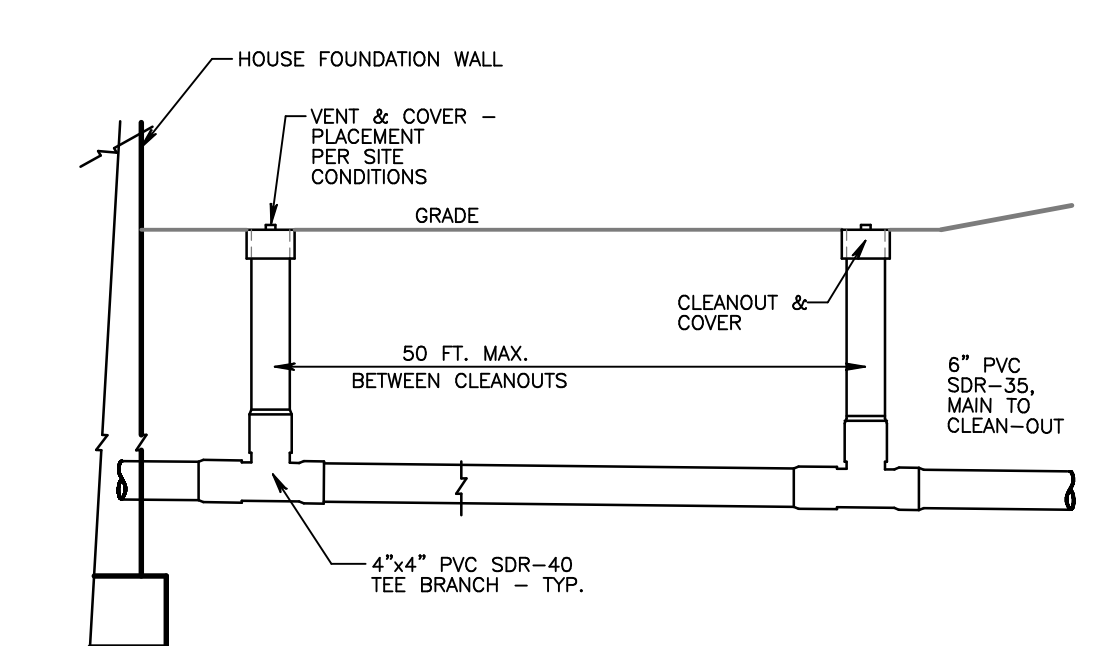
(WATER MAIN w/IN WEST FIRST AVE) TRENCH RESTORATION
Not To Scale



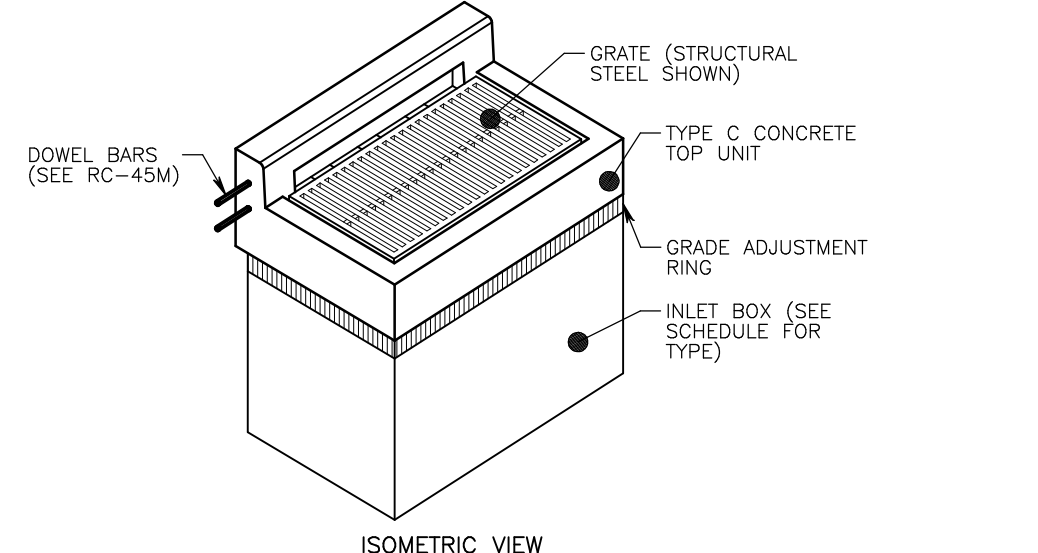
SCHEMATIC UTILITY SERVICE CONNECTION at BUILDING
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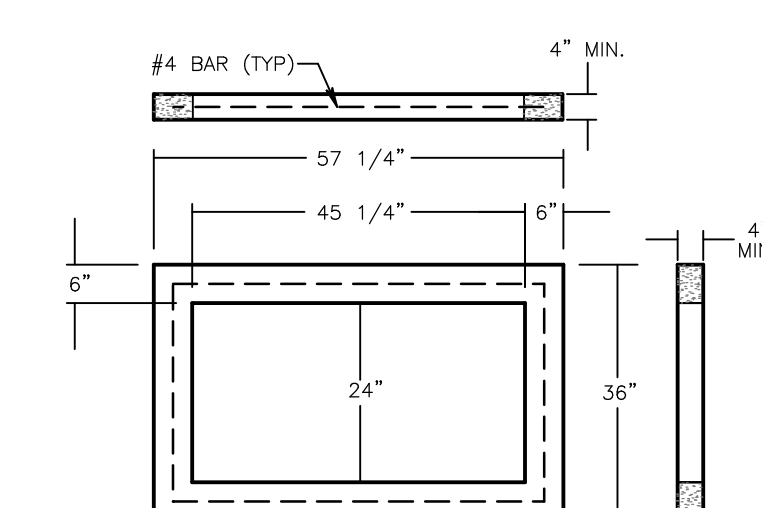
SHALLOW SEWER LATERAL CONNECTION
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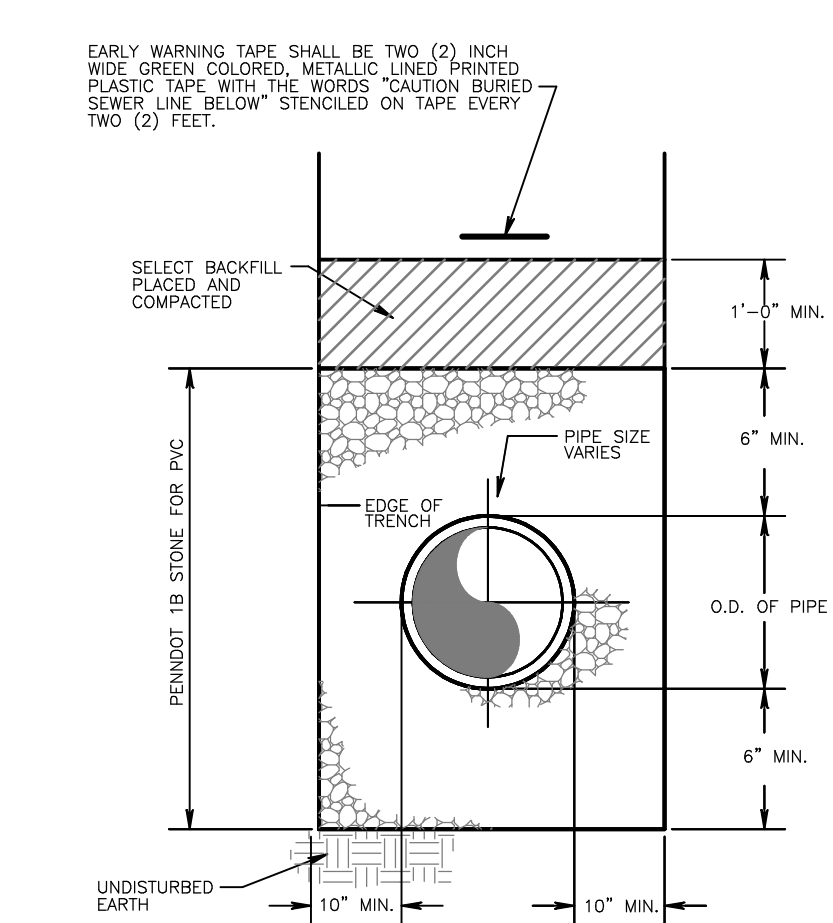
TYP. SERVICE CONNECTION at BUILDING FOR PVC LATERAL
Not To Scale



PennDOT TYPE 'C' INLET TOP DETAIL
Not To Scale



GRADE ADJUSTMENT RING (PRECAST)
Not To Scale



STANDARD SANITARY SEWER PIPE BEDDING DETAIL
Not To Scale

Eclipse Boxes Complete

Fig. No. E-100 & E-125

"Eclipse" Arched Pattern Curb Boxes in two steel pipe shaft sizes: 1" (Fig. No. E-100) 1 1/4" (Fig. No. E-125) for curb stops 1/2"-1 1/4".

- Steel Pipe Shaft available in 1" or 1 1/4" is adjustable up and down and held in place by a brass ring.
- Bottom is cast iron. It is belled and arched to fit curb stops.
- The permanent steel rod is forged at the top end to receive a short cut-off wrench. The rod is welded to the cut-off key at the bottom. A connecting pin is provided to attach the key to the valve tee. A centering ring is placed on the rod to keep rod centered in the top pipe section. Fig. No. 4901-RS also available.
- Lids are cast iron in two separate designs:
 - Type A - Cast iron with water works head and pentagon brass plug.
 - Type B - Cast iron with two 1/2" holes for operating with a straddle wrench. Has brass bushing with standard pipe thread to attach to pipe section.
- Complete curb box consists of lid, top pipe, cast iron bottom, and rod assembly (rod, ring and pin).
- All "Eclipse" Boxes have 12" range of extension.
- 5/8" Steel Rod. 1" and 1 1/4" Steel Pipe.

When Ordering Specify: Fig. No. - Size No. - Cover marked GAS or WATER or Special Lettering at Extra Cost.

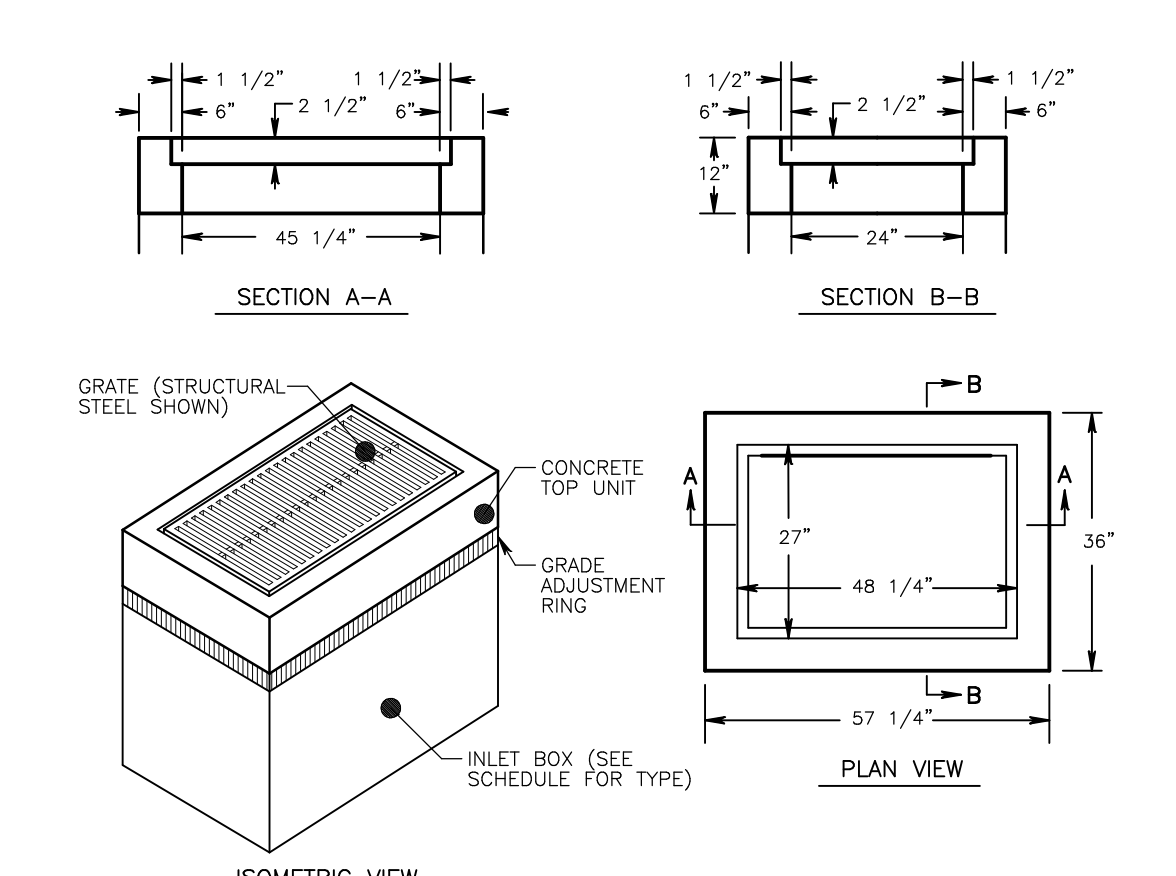
Size Dim. A	Rod Dim. B	Pipe Dim. C	Weight	Size Dim. A	Rod Dim. B	Pipe Dim. C	Weight
1.5-2.5	1.675	11	15.0	1.5-2.5	1.675	13	15.0
2.0-3.0	2.100	17	16.0	2.0-3.0	2.100	19	16.0
2.5-3.5	2.700	23	16.5	2.5-3.5	2.700	25	16.5
3.0-4.0	3.300	29	17.0	3.0-4.0	3.300	33	17.0
3.5-4.5	3.900	35	18.0	3.5-4.5	3.900	37	18.0
4.0-5.0	4.500	41	19.0	4.0-5.0	4.500	43	19.0
4.5-5.5	5.100	47	20.0	4.5-5.5	5.100	49	20.0
5.0-6.0	5.700	53	21.0	5.0-6.0	5.700	55	21.0
5.5-6.5	6.300	59	22.0	5.5-6.5	6.300	61	22.0
6.0-7.0	6.900	65	23.0	6.0-7.0	6.900	67	23.0
6.5-7.5	7.500	71	24.0	6.5-7.5	7.500	73	24.0
7.0-8.0	8.100	77	25.0	7.0-8.0	8.100	79	25.0

Fig. No. E-100 & E-125

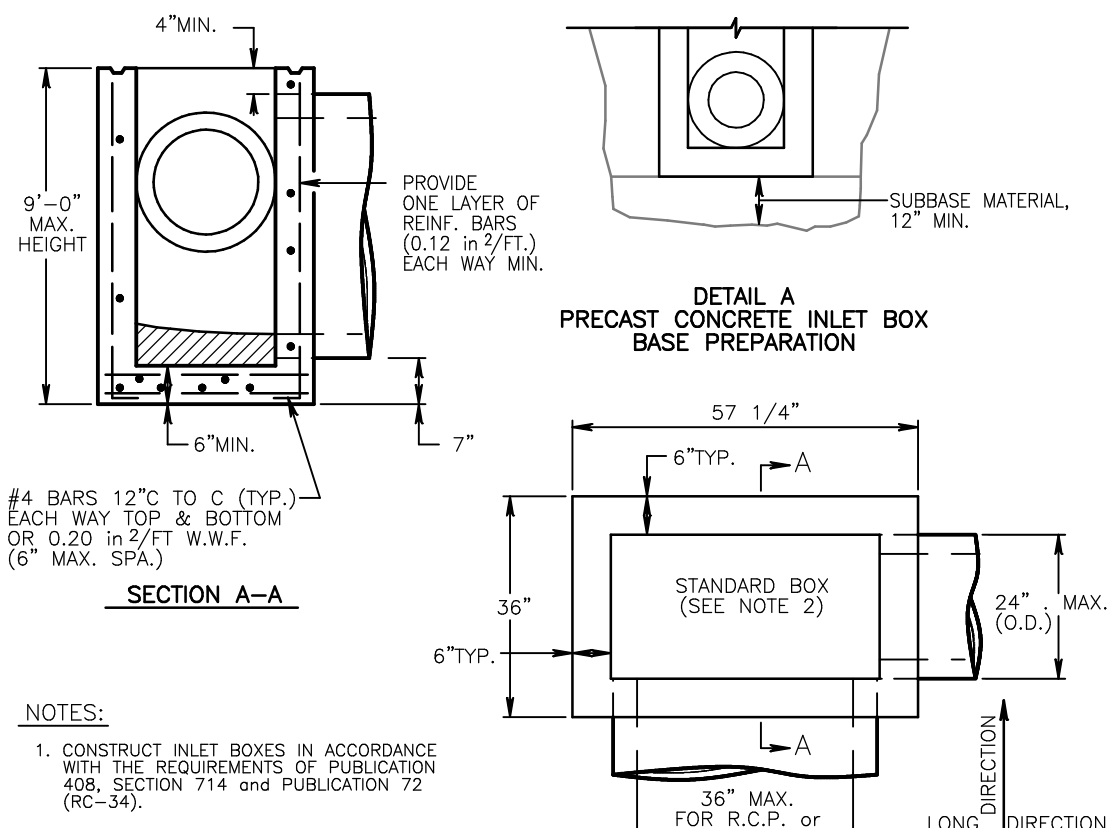
Fig. No. 4900-R

Fig. No. 4901-RS

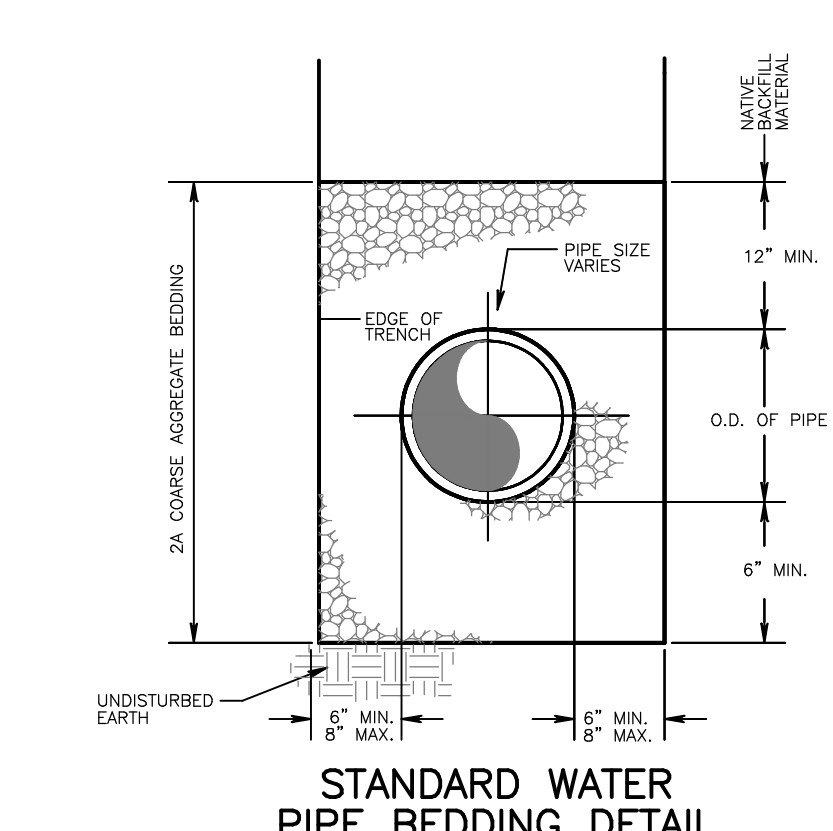
USE TYPE 'A' LID STYLE



PennDOT TYPE 'M' INLET TOP DETAIL
Not To Scale



STANDARD PRECAST INLET BOX
Not To Scale



STANDARD WATER PIPE BEDDING DETAIL
Not To Scale

NO.	DATE	DESCRIPTION

REVISIONS

SEAL

PROJECT SERIAL NUMBER FOR DESIGN: 2023 07093400
MARCH 20, 2023

Pennsylvania 811

Parcel Information:
N/F, KRAJNICK GREGORY
TP 23-00-00985-00-9
BL 3 U 39
56 W SEVENTH AVE
TP 23-00-00988-00-6
BL 3 U 27
62 W SEVENTH AVE

Deed Area: 6.5829 Ac.
Legal RW: 0.1585 Ac.
Util. RW: 0.2176 Ac.
NET Area: 6.2068 Ac.

Applicant/Equitable Owner:
PENNINGTON PROPERTY GROUP, LLC
c/o Ben Goldthorp
P.O. Box 35
Chalfont, PA 18914

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CONSTRUCTION DETAILS - SHEET 'B'

PRELIMINARY / FINAL PLAN

56-602 W SEVENTH AVE
TRAPPE, BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (610) 242-2646 Web: www.woodrowinc.com

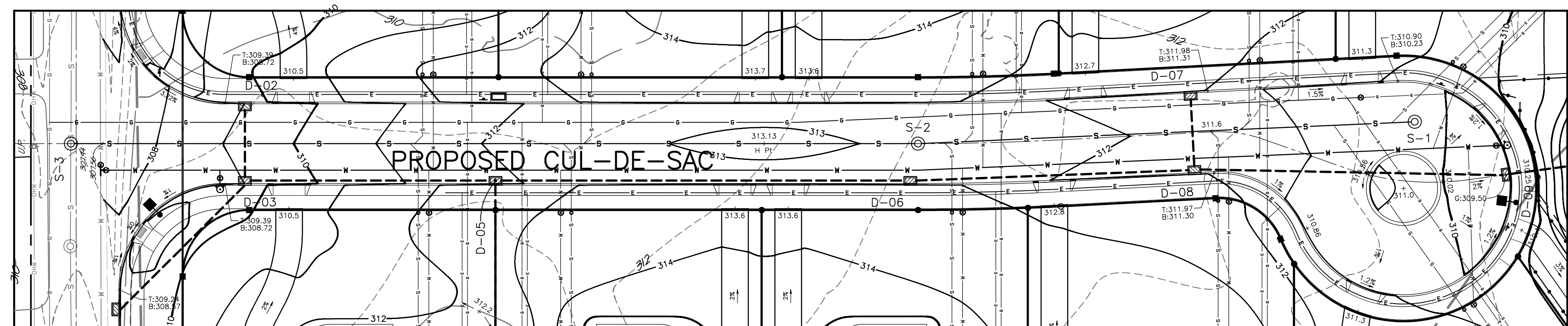
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Job No.: 23-0302 D

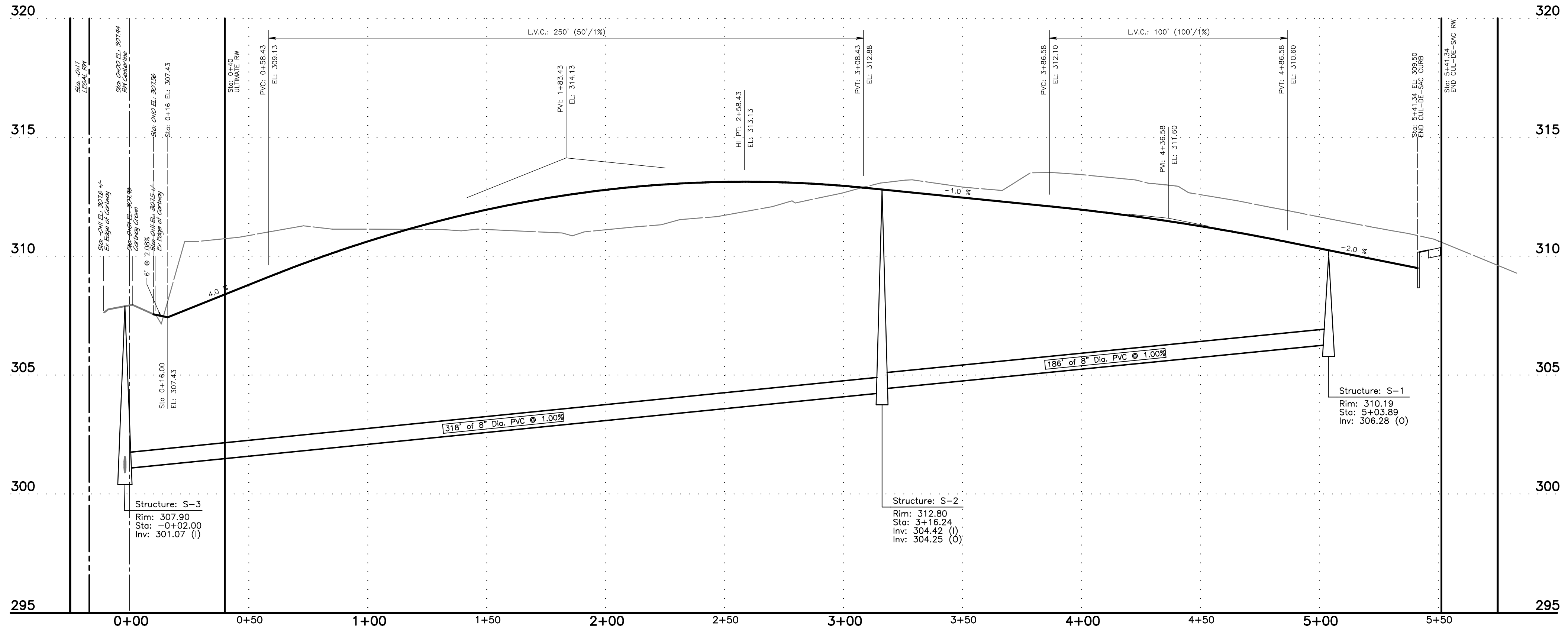
Plan Date: AUGUST 2023

Sheet No.: 8 of 23

Print Date: Aug 17, 2023 (10:57) - Plot Scale: 1" = 40.00'
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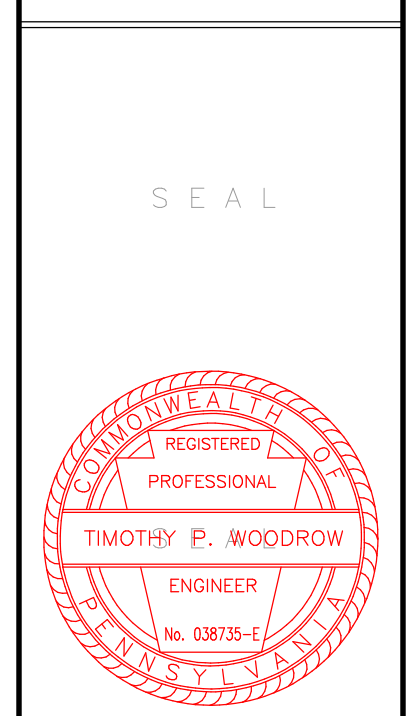
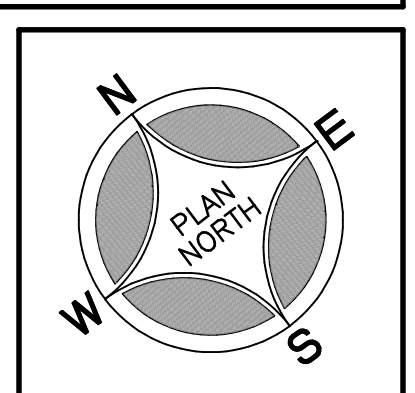


PLAN VIEW: CUL-DE-SAC
 Scale: 1" = 30'



PROFILE VIEW: CUL-DE-SAC
 Scale: 1" = 30' Horiz
 1" = 3' Vert

No.	DATE	DESCRIPTION

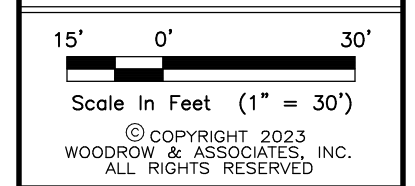


PROJECT SERIAL NUMBER FOR DESIGN:
 2023 07093400
 MARCH 20, 2023

Pennsylvania 811
 A Priority, Safer, Smarter Partnership Corporation

Parcel Information:
 N/F: KRAJNICK GREGORY
 TP 23-00-00985-00-9
 BL 3 U 39
 56 W SEVENTH AVE
 TP 23-00-00988-00-6
 BL 3 U 27
 62 W SEVENTH AVE
 Deed Area: 6.5829 Ac.
 Legal RW: 0.1585 Ac.
 Util. RW: 0.2178 Ac.
 NET Area: 6.2068 Ac.

Applicant/Equitable Owner:
PENNINGTON PROPERTY GROUP, LLC
 c/o Ben Goldthorp
 P.O. Box 35
 Chalfont, PA 18914



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PRELIMINARY / FINAL PLAN
PLAN and PROFILE: CUL-DE-SAC
56-62 W SEVENTH AVE
 TRAPPE BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (215) 542-5048 Web: www.woodrowinc.com

Layer List:
 Sht10_Prof1
 Job No:
 23-0302 D
 Plan Date:
 AUGUST 17, 2023
 Sheet No:

SEVENTH AVENUE

SEVENTH AVENUE

S.R. 4048
60% Posted Speed: 40 MPH

PLAN FEATURES LEGEND	
	Ex. Tract Boundary Line
	Ex. Right-of-Way Line
	Ex. Zoning District Boundary
	Ex. Topographic Contour
	Ex. Soil Series Limits
	Ex. Sanitary Main / Lateral
	Ex. Gas Main / Service
	Ex. Water Main / Service
	Ex. Overhead Wires
	Ex. Woodlands Dringine
	Pr. Topographic Contour
	Pr. Storm Sewer
	Pr. Sanitary Sewer
	Pr. Water Main / Service
	Pr. Gas Main / Service
	Pr. Electric Main / Service

E&S LEGEND	
	Temp E&S Contour
	Tree Protection Fencing
	Temp Compost Filter Sock
	Temp Filter Fabric Fencing
	Earth Disturbance Limit
	Temp Inlet Protection
	Rock Construction Entrance (RCE)

TOTAL PROJECT DISTURBANCE:
6.28 ACRES

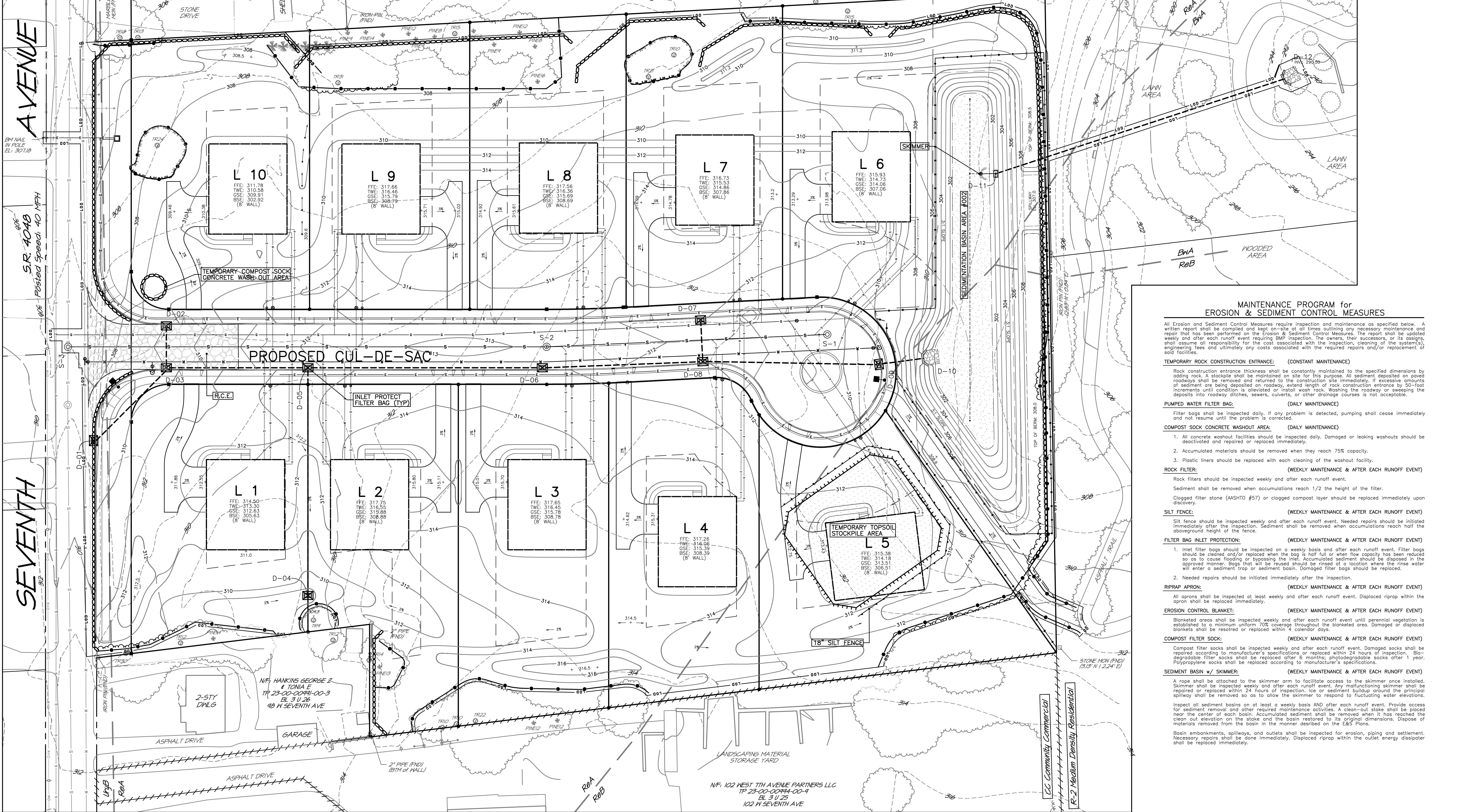
GENERAL PLAN NOTES

Refer to the Record Plan (Sheet 2) for 'EXISTING FEATURES AND SURVEY NOTES' and 'DEVELOPMENT NOTES'.
Refer to the Site Grading and Drainage Plan (Sheet 4) for 'CONSTRUCTION DESIGN NOTES'.

EROSION CONTROL DESIGN:

- The Erosion & Sedimentation Control Plan shall minimize the extent and duration of earth disturbance to the greatest extent possible by outlining an efficient construction sequence to complete the proposed improvements as quickly as possible while utilizing the following Erosion and Sedimentation Controls, as shown and detailed on the plan, to minimize any sediment-laden runoff during construction: Rock Construction Entrance, Compost Filter Sock and Tree Protection Fence.
- The Erosion & Sedimentation Control Plan shall maximize protection of existing drainage features and vegetation to the greatest extent possible by outlining the Limit of Disturbance to avoid impact to any natural drainage features.
- The Erosion & Sedimentation Control Plan shall minimize soil compaction to the greatest extent possible by minimizing traffic within the area of any utilized Sediment Basin, Sediment Trap, or siltifier BMP once it is constructed and functioning in an effort to preserve natural infiltration rates for Post-Construction conversion. Soil compaction shall also be avoided by loosening the subsoil to a depth of 3 to 5 inches to permit the bonding of the surface areas and scarification of 6 to 12 inches for compacted soils prior to seeding. Fencing off of infiltration areas may be implemented as noted on the plans or in the provided Construction Sequence.

- The Erosion & Sedimentation Control Plan outlines controls to prevent and/or minimize the generation of increased stormwater through the use of a Perforated Rip Rap within the Sediment Basin (if applicable), to capture, slow, and cool runoff while allowing the natural infiltration properties in the soil in this location.
- Any proposed impervious areas, Rooftops, Pavement and Sidewalk areas, Etc., have the potential to increase thermal impacts to the watershed. Through the use of the proposed BMPs identified on the Plan and specifications for this Project, runoff is captured, slowed, and cooled to the greatest extent possible; thereby reducing the potential for thermal impacts to the watershed as much as possible.
- There are no naturally occurring geologic conditions on-site that could potentially cause pollution. All Erosion and Sedimentation Controls (Sedimentation Basin(s), Compost Socks, Etc.) are proposed around the project site in an effort to minimize any construction related pollution from leaving the site.
- If bedrock is encountered during the construction of the proposed BMPs, the project engineer shall be consulted to ensure that the proposed BMPs will still function as designed.
- Sediment-laden runoff is an anticipated construction waste. Through the use of the proposed Erosion Control Device outlined on this plan set, sediment-laden runoff has been mitigated and prevented from leaving the project site to the greatest extent possible.
- The project site can be referenced on the Collegeville U.S.G.S. Quadrangle Map.



MAINTENANCE PROGRAM for EROSION & SEDIMENT CONTROL MEASURES

All Erosion and Sediment Control Measures require inspection and maintenance as specified below. A written report shall be compiled and kept on-site at all times outlining any necessary maintenance and repair that has been performed on the Erosion & Sediment Control Measures. The report shall be updated weekly and after each runoff event requiring BMP inspection. The owners, their successors, or its assigns, shall assume all responsibility for the cost associated with the inspection, cleaning of the system(s), engineering fees and ultimately any costs associated with the required repairs and/or replacement of said facilities.

TEMPORARY ROCK CONSTRUCTION ENTRANCE: (CONSTANT MAINTENANCE)

Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50-foot increments until condition is alleviated or install wash rock. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

PUMPED WATER FILTER BAG: (DAILY MAINTENANCE)

Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

COMPOST SOCK CONCRETE WASHOUT AREA: (DAILY MAINTENANCE)

1. All concrete washout facilities should be inspected daily. Damaged or leaking washouts should be deactivated and repaired or replaced immediately.

2. Accumulated materials should be removed when they reach 75% capacity.

3. Plastic liners should be replaced with each cleaning of the washout facility.

ROCK FILTER: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

Rock filters should be inspected weekly and after each runoff event.

Sediment shall be removed when accumulations reach 1/2 the height of the filter.

Clogged filter stone (AASHTO #57) or clogged compost layer should be replaced immediately upon discovery.

SILT FENCE: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

Silt fence should be inspected weekly and after each runoff event. Needed repairs should be initiated immediately after the inspection. Sediment shall be removed when accumulations reach half the aboveground height of the fence.

FILTER BAG INLET PROTECTION: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

1. Inlet filter bags should be inspected on a weekly basis and after each runoff event. Filter bags should be cleaned and/or replaced when the bag is half full or when flow capacity has been reduced so as to cause flooding or bypassing the inlet. Accumulated sediment should be disposed in the approved manner. Bags that will be reused should be placed at a location where the rinse water will enter a sediment trap or sediment basin. Damaged filter bags should be replaced.

2. Needed repairs should be initiated immediately after the inspection.

RIPRAP APRON: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

All aprons shall be inspected at least weekly and after each runoff event. Displaced riprap within the apron shall be replaced immediately.

EROSION CONTROL BLANKET: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be restored or replaced within 4 calendar days.

COMPOST FILTER SOCK: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Bio-degradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's specifications.

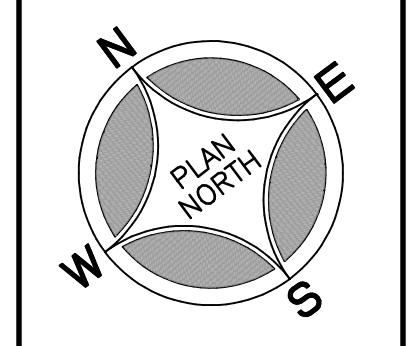
SEDIMENT BASIN w/ SKIMMER: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

A rope shall be attached to the skimmer arm to facilitate access to the skimmer once installed. Skimmer shall be inspected weekly and after each runoff event. Any malfunctioning skimmer shall be repaired or replaced within 24 hours of inspection. Ice or sediment buildup around the principal spillway shall be removed so as to allow the skimmer to respond to fluctuating water elevations.

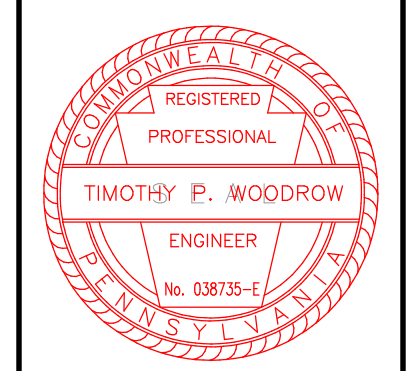
Inspect all sediment basins on at least a weekly basis AND after each runoff event. Provide access for sediment removal and other required maintenance activities. A clean-out stake shall be placed near the center of each basin. Accumulated sediment shall be removed when it has reached the clean out elevation on the stake and the basin restored to its original dimensions. Dispose of materials removed from the basin in the manner described on the E&S Plans.

Basin embankments, spillways, and outlets shall be inspected for erosion, piping and settlement. Necessary repairs shall be done immediately. Displaced riprap within the outlet energy dissipator shall be replaced immediately.

REVISIONS



SEAL



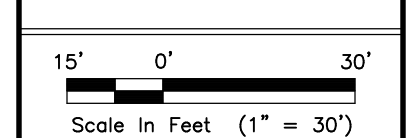
PROJECT SERIAL NUMBER FOR DESIGN:
2023 07093400
MARCH 20, 2023

Pennsylvania 811

Parcel Information:
N/F. KRAJINK GREGORY TP 23-00-00985-00-9 BL 3 U 39 56 W SEVENTH AVE
N/F. HANKINS GEORGE Z & TOMHA E TP 23-00-00991-00-3 BL 3 U 26 48 W SEVENTH AVE
N/F. TRAFFE BOROUSH PARK TP 23-00-00912-00-4 BL 3 U 27 43 W FIFTH AVE

Deed Area: 6.5829 Ac.
Legal RW: 0.1585 Ac.
Util. RW: 0.2176 Ac.
NET Area: 6.2068 Ac.

Applicant/Owner:
PENNINGTON PROPERTY GROUP, LLC
c/o Ben Goldthorp
P.O. Box 35
Chaffont, PA 18914



Scale in Feet (1" = 30')

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PRELIMINARY / FINAL PLAN
E & S CONTROL PLAN
56-62 W SEVENTH AVE
TRAPPE BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 542-3040 Web: www.woodrowinc.com

Layer List:
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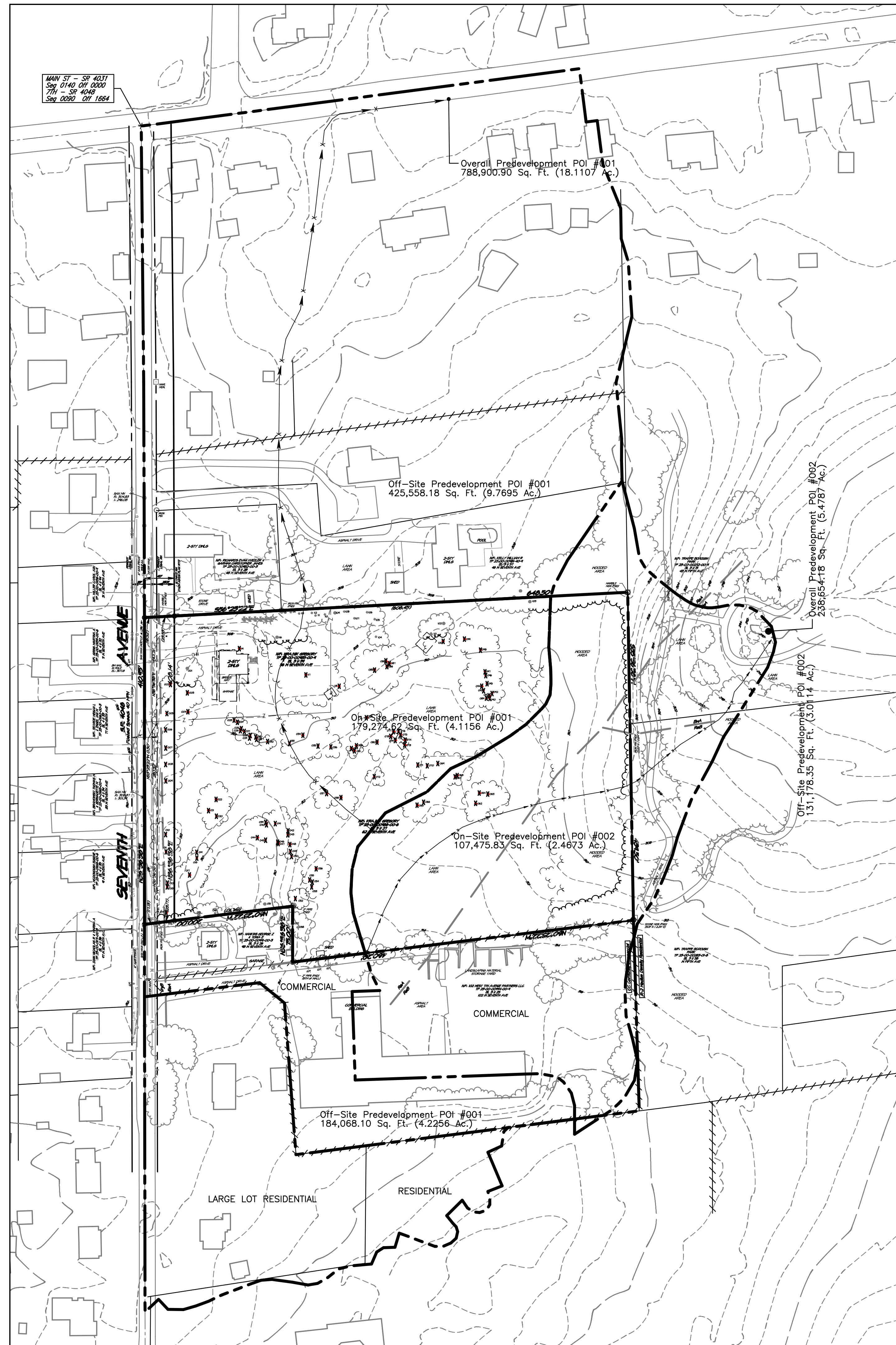
Job No:
23-0302 D

Plan Date:
AUGUST 2023

Sheet No:
12 of 23

PLAN FEATURES LEGEND

	Ex. Tract Boundary Line
	Ex. Right-of-Way Line
	Ex. Right-of-Way Centerline
	Ex. Zoning District Boundary
	Ex. Topographic Contour
	Ex. Soil Series Limits
	Ex. Sanitary Main / Lateral
	Ex. Gas Main / Service
	Ex. Water Main / Service
	Ex. Overhead Wires
	Ex. Woodlands Dringline
	Ex. Tree to be Removed
	Predevelopment DAB

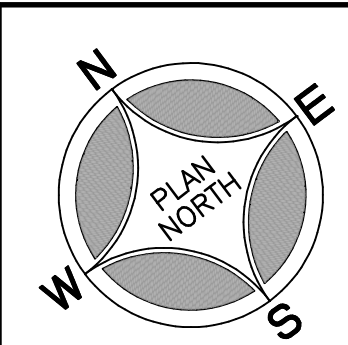


PROJECT SOILS DATA

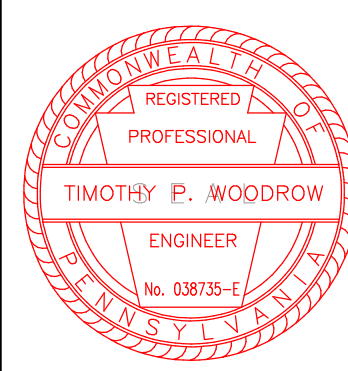
Soils Type	% Slopes	Depth to Restrictive Feature	Depth to Water Table	Hydrologic Soil Group
BWA Buckingham silt loam	0 to 3	20-40" to Froggion 80-99" to Lithic Bedrock	6 to 18"	B/D
ReA ReB Readington silt loam	0 to 3 3 to 8	20-36" to Froggion 40-70" to Lithic Bedrock	18 to 36"	C
UyB Urban land-Readington complex	0 to 8	20-36" to Froggion 40-70" to Lithic Bedrock	18 to 36"	C

Plan Date: Aug 17, 2023 (11:00) - Final Scale: 1" = 40.00'
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REVISIONS



SEAL

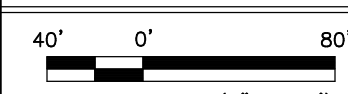


PROJECT SERIAL NUMBER FOR DESIGN:
 2023 07093400
 MARCH 20, 2023

Pennsylvania 811

Parcel Information:
 N/F: KRAJINK GREGORY
 TP 23-00-00985-00-9
 BL 3 U 39
 56 W SEVENTH AVE
 TP 23-00-00988-00-6
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 Deed Area: 6.5829 Ac.
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 NET Area: 6.2068 Ac.

Applicant/Equitable Owner:
PENNINGTON PROPERTY GROUP, LLC
 c/o Ben Goldthorp
 P.O. Box 35
 Chalfont, PA 18914



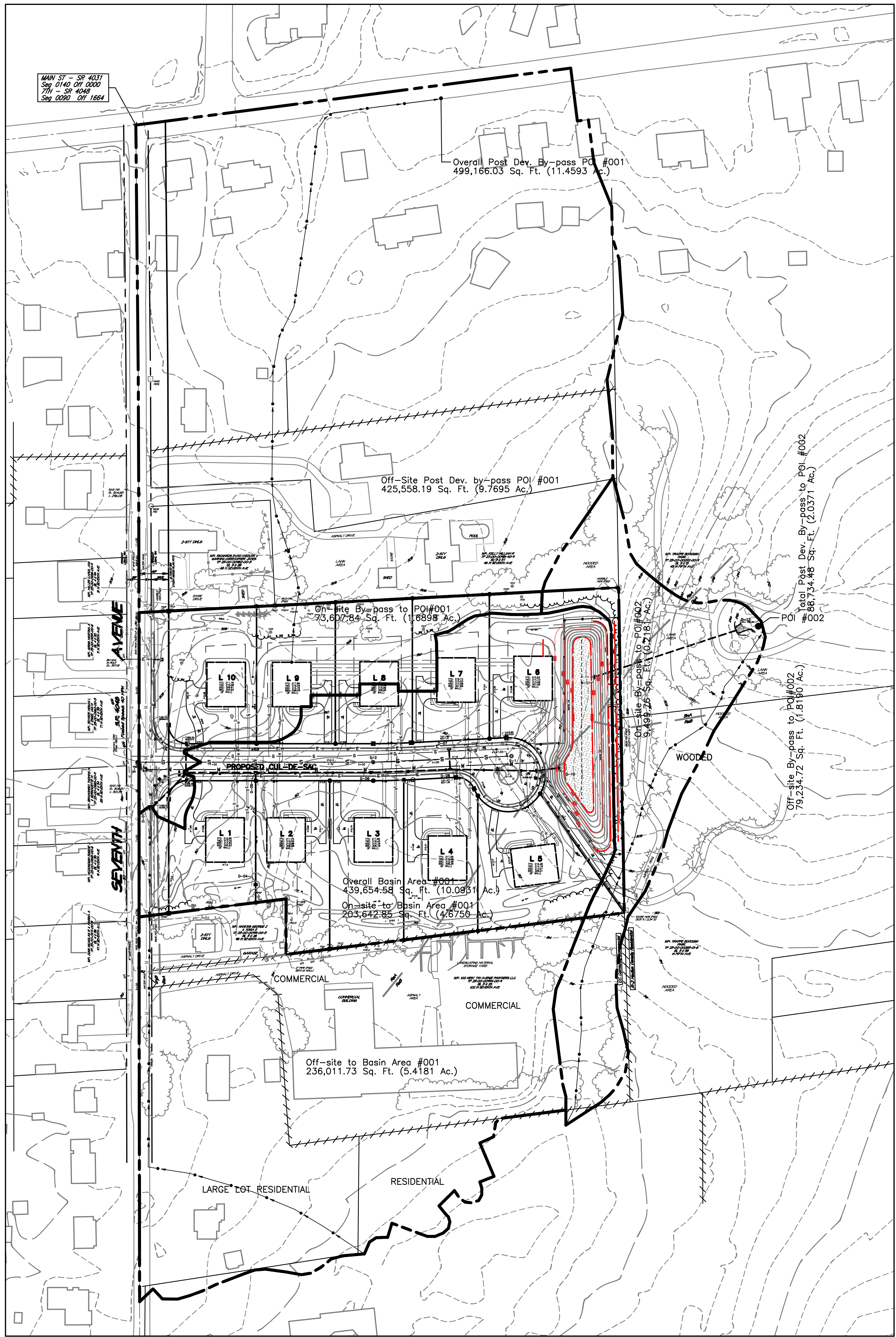
Scale in Feet (1" = 80')
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PRELIMINARY / FINAL PLAN
PREDEVELOPMENT DRAINANCE AREA BOUNDARY PLAN
56-62 W SEVENTH AVE
 TRAPPE BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (215) 542-2648 Web: www.woodrowinc.com

Layer List:
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 Job No:
 23-0302 D
 Plan Date:
 AUGUST 17, 2023
 Sheet No:

PLAN FEATURES LEGEND

- Ex. Tract Boundary Line
- Ex. Right-of-Way Line
- Ex. Right-of-Way Centerline
- Ex. Zoning District Boundary
- Ex. Topographic Contour
- Ex. Soil Series Limits
- Ex. Sanitary Main / Lateral
- Ex. Gas Main / Service
- Ex. Water Main / Service
- Ex. Overhead Wires
- Ex. Woodlands Dripline
- Ex. Tree to be Removed
- Post Development DAB

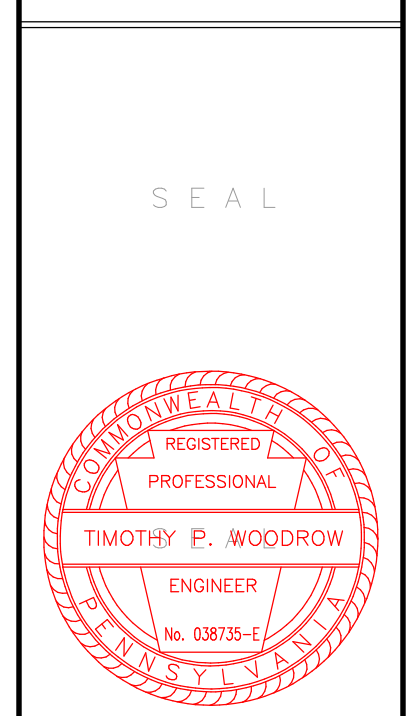
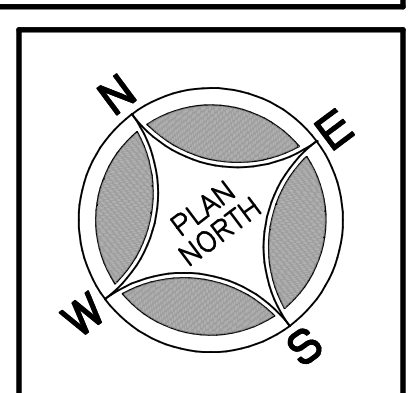


Plan Date: Aug 17, 2023 (11:53) - Efiled Date: 1" = 40.00'
 File Name: 20230305-002023-002023

PROJECT SOILS DATA

Soils Type	% Slopes	Depth to Restrictive Feature	Depth to Water Table	Hydrologic Soil Group
BWA Buckingham silt loam	0 to 3	20-40" to Froggion 80-99" to Lithic Bedrock	6 to 18"	B/D
ReA ReB Readington silt loam	0 to 3 3 to 8	20-36" to Froggion 40-70" to Lithic Bedrock	18 to 36"	C
UyB Urban land-Readington complex	0 to 8	20-36" to Froggion 40-70" to Lithic Bedrock	18 to 36"	C

No.	DATE	DESCRIPTION



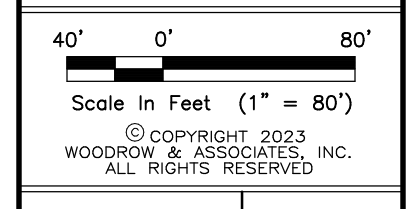
PROJECT SERIAL NUMBER FOR DESIGN:
 2023 07093400
 MARCH 20, 2023

Pennsylvania 811
 A Priority Service with the Pennsylvania Corporation

Parcel Information:
 N/F: KRAJINK GREGORY
 TP 23-00-00985-00-9
 BL 3 U 39
 56 W SEVENTH AVE
 TP 23-00-00988-00-6
 BL 3 U 27
 62 W SEVENTH AVE

Deed Area: 6.5829 Ac.
 Legal RW: 0.1585 Ac.
 Util. RW: 0.2178 Ac.
 NET Area: 6.2068 Ac.

Applicant/Easitable Owner:
PENNINGTON PROPERTY GROUP, LLC
 c/o Ben Goldthorp
 P.O. Box 35
 Chalfont, PA 18914



PRELIMINARY / FINAL PLAN
POST DEVELOPMENT DRAINANCE AREA BOUNDARY PLAN
56-62 W SEVENTH AVE
 TRAPPE BOROUGH - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
 MUNICIPAL / CIVIL CONSULTING ENGINEERS
 1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
 Phone: (215) 542-3048 Web: www.woodrowinc.com

Layer List:
 Sht20_DAB-Post
 Job No:
 23-0302 D
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